

HISTORIC STRUCTURE ASSESSMENT FOR 4300 SHIRLEY AVENUE

EL MONTE, CALIFORNIA

APNs 8577-007-010, -011, and -018

Submitted to:

City of El Monte Planning Division
City Hall West
11333 Valley Boulevard
El Monte, California 91731

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I. EXECUTIVE SUMMARY

In conjunction with the proposed development of the property located at 4300 Shirley Avenue in the city of El Monte, Los Angeles County, California, Brian F. Smith and Associates, Inc. (BFSA) was contracted to complete a historic structure evaluation of the five existing historic buildings located within the Vons El Monte Distribution Center (VEMDC). This project is identified as Assessor's Parcel Numbers (APNs) 8577-007-010, -011, and -018 and is located within the former Rancho San Francisquito in Township 1 South, Range 11 West on the USGS *El Monte, California* topographic quadrangle. The purpose of this evaluation is to determine if the five VEMDC buildings qualify as historic resources and whether or not the proposed removal of these buildings will constitute an adverse impact, as defined by the California Environmental Quality Act (CEQA).

BFSA evaluated the potential architectural and historic significance of the five VEMDC buildings at 4300 Shirley Avenue in conformance with CEQA cultural resources eligibility criteria. Historical research and a site inspection provided sufficient information to determine that none of the VEMDC buildings are historically and/or architecturally significant. This evaluation is based upon the fact that none of the buildings are associated with any important events, architects, or builders, and lack architectural importance. Because no historic or architectural significance was attributed to the buildings at the local or state level, the proposed removal of the VEMDC buildings will not have an adverse impact on the built environment and no mitigation program or preservation measures are required.

II. INTRODUCTION

Report Organization

The purpose of this study is to evaluate the potential historic and architectural importance of the five VEMDC buildings located at 4300 Shirley Avenue in the city of El Monte, California. As part of the environmental review of the proposed demolition of the buildings, the City of El Monte has required an evaluation to determine if they are historically and/or architecturally significant. Therefore, significance criteria provided in Section 21084.3 of CEQA and Section 5024.1 of the Public Resources Code, as well as criteria for listing on the California Register of Historical Resources (CRHR), have been used to determine the significance of the buildings and to assess whether or not their demolition constitutes an adverse impact, as defined by CEQA.

Project Area

The VEMDC buildings evaluated in this study are entirely within APNs 8577-007-010, -011, and -018. The property is located at 4300 Shirley Avenue, between Lower Azusa Road and the Southern Pacific Railroad line in the city of El Monte, Los Angeles County, California. The VEMDC buildings included in the study consist of a grocery warehouse constructed in 1957, a

deli/perishable warehouse constructed in 1962, a truck service building constructed in 1968, a service building and a meat service center, both of which were constructed in 1976. However, because the service building and the meat service center do not meet the minimum 50-year age threshold to be considered historic, as defined by CEQA, and have not achieved significance since their period of construction, these buildings are not considered contributing structures.

Project Personnel

This evaluation was conducted by Jennifer R.K. Stropes and Brian F. Smith (Appendix E). Word processing, editing, and graphics production services were provided by BFSa staff.

III. PROJECT SETTING

Physical Project Setting

The VDEMC buildings under review are located at 4300 Shirley Avenue in the city of El Monte, Los Angeles County, California. The project is situated northeast of downtown Los Angeles within the northern portion of the Peninsular Ranges geomorphic province of southern California. The geomorphic province is characterized by northwest-trending mountain ranges, which are underlain by Jurassic-age metavolcanic and metasedimentary rocks and Cretaceous igneous rock of the Southern California Batholith (McCondichie and Gallagher 2015). No natural or native vegetation is present on the property and the entire setting is urbanized and disturbed.

Historical Overview

The history of the project area began with the Spanish colonization of Alta California. The first Spanish colonizing expedition reached southern California in 1769 with the intention of converting and civilizing the indigenous populations and expanding the knowledge of and access to new resources in the region (Brigandi 1998). In the late eighteenth century, the Catholic Franciscan Order established missions at San Gabriel (Los Angeles County), San Juan Capistrano (Orange County), and San Luis Rey (San Diego County) as part of the Spanish effort to colonize Alta California. They would gradually expand their use of the interior valley (what is now western Riverside County) for raising grain and cattle to support the missions (Riverside County n.d.). Mission San Gabriel de Arcángel claimed lands in what is now Jurupa, Riverside, San Jacinto, and the San Gorgonio Pass, while Mission San Luis Rey de Francia claimed land in what is now Lake Elsinore, Temecula, and Murrieta (American Local History Network: Riverside County, California 1998). The indigenous groups who occupied these lands were recruited by missionaries, converted, and put to work in the missions (Pourade 1964). Throughout this period, the Native American populations were decimated by introduced diseases, a drastic shift in diet resulting in poor nutrition, and social conflicts due to the introduction of an entirely new social order (Cook 1976).

On September 8, 1771, Father Pedro Cambón and Father Angel Somera established Mission San Gabriel de Arcángel near the present-day city of Montebello. In 1775, the mission was moved to its current location in San Gabriel due to better agricultural lands. This mission was the first sustained European occupation of the Los Angeles County area. The San Gabriel mission, despite a slow start that was partially due to misconduct by Spanish soldiers, eventually became so prosperous that it was known as “The Queen of the Missions” (Johnson et al. 1972).

The pueblo of Los Angeles was established in 1781. During this period, Spain also deeded ranchos to prominent citizens and soldiers (though very few in comparison to the later Mexican Period). One such rancho, Rancho San Pedro, was deeded to soldier Juan Jose Dominguez in 1784 and comprised 75,000 acres, encompassing the modern South Bay region from the Los Angeles River on the east to the Pacific Ocean on the west.

Mission San Fernando Rey de España was established in 1797 by Fray Fermin de Lasuén, who brought three families from a different mission. Upon their arrival, Spain granted the land now known as San Fernando Valley to the mission. After construction of the mission, traffic through the valley increased via the “Indian trail,” which led from Mission San Fernando to Mission Santa Buenaventura and was part of the El Camino del Santa Susana y Simi trail, which stretched over Santa de Susana Pass (Watson 1991).

The area that became Los Angeles County saw an increase in European settlement during the Mexican Period, largely due to the many land grants (ranchos) given to Mexican citizens by various governors. The period ended when Mexican forces fought the combined United States Army and Navy forces in the Battle of the San Gabriel River on January 8, 1847, and the Battle of La Mesa on January 9, 1847 (Nevin 1978). On January 10, 1847, leaders of the pueblo of Los Angeles surrendered peacefully after Mexican General Jose Maria Flores withdrew his forces. Shortly thereafter, Andrés Pico, the newly appointed Mexican Military Commander of California, surrendered all of Alta California to United States Army Lieutenant Colonel John C. Fremont in the Treaty of Cahuenga (Nevin 1978).

Settlement of the Los Angeles region accelerated during the early American Period. Los Angeles County was established on February 18, 1850. It was one of 27 counties established in the months prior to California becoming a state. Many ranchos in the county were sold or otherwise acquired by Americans, and most were subdivided into agricultural parcels or towns. Nonetheless, ranching retained its importance, and by the late 1860s, Los Angeles was one of the top dairy production centers in the country (Rolle 1969). In 1854, the United States Congress agreed to let San Pedro become an official port of entry, and by the 1880s, the railroads had established networks throughout the county. This resulted in fast and affordable shipment of goods and a means to transport new residents to the booming region (Dumke 1944). New residents included many health-seekers that were drawn to the area during the 1870s and the 1880s due to the fabled climate (Baur 1959). In 1876, the county had a population of 30,000 (Dumke 1944:7); by 1900, it had reached 100,000.

In the early to mid-1900s, population growth accelerated due to industry associated with

both world wars and emigration from the Midwest “dust bowl” states during the Great Depression. Los Angeles County became one of the most densely occupied areas in the United States. The county’s mild climate and successful economy continued to draw new residents in the late 1900s, and as a result, much of the county transformed from ranches and farms into residential subdivisions surrounding commercial and industrial centers. Hollywood’s development into the entertainment capital of the world and southern California’s booming aerospace industry were key factors in the county’s growth.

Project Area and Vicinity

The city of El Monte is located east of Los Angeles, between the San Gabriel and Rio Hondo rivers, which proved useful to both native dwellers and travelers. In the early days, El Monte consisted of alluvial topsoil, small streams, slender willows, alders, cattails, meadows, wild grapevines, and succulent watercress. The Gabrielino used the area of El Monte to harvest food and hunt game while traveling (Diaz 2005).

Missionaries and Spanish soldiers stopped in the region between the 1770s and the 1830s, naming the area “El Monte,” meaning “meadow or marsh” or “the wooded place.” In 1826, well-known mountain man and explorer Jedidiah Smith traversed the area with a small party of Americans. A member of this party, Harrison Rogers, wrote a diary entry referring to the rest and rehabilitation offered during their stay by “Camp Monte” or “Monte Camp” (Diaz 2005). Travelers continued to use the El Monte area as a natural resting place during the 1830s to 1840s land grant/rancho era in the 1830s and 1840s.

Henry Dalton purchased the approximately 9,000-acre Rancho San Francisquito in 1845, east of Mission San Gabriel (Lewis:126):

Hard pressed for money as he often was, he decided to subdivide his Rancho ... It was divided into forty- and fifty-acre parcels and included a townsite known first as Lexington, then Lickskillit and finally El Monte, the first English-speaking town in Southern California. (Lewis 1993:130)

From 1849 to 1850, the first permanent residents of El Monte settled in the area. Many of these pioneers came to California in the pursuit of gold. Although few prospectors and immigrants were successful in this pursuit, some stayed because of the available fresh water and good soil for farming, eventually building homes in the area (Diaz 2005).

Captain Johnson of Lexington, Kentucky led a group of pioneers to the El Monte area in 1852. After surveying the gold fields to the north, the group decided that the agricultural aspects of El Monte were more promising than the prospect of gold (Diaz 2005). As a result of his leadership skills, Captain Johnson remained an important figure in the community throughout the 1850s. At the time, the area was home to about 12 families. Johnson proposed naming the small village “Lexington” to commemorate his home town and its importance in the Revolutionary

War. Residents of the village agreed to this name; however, the original names of El Monte, Monte Camp, or the Monte remained in use (Diaz 2005). In 1855, “there were 1,191 school-age children ... in Los Angeles, El Monte, San Gabriel, and adjacent areas ... not more than 150 of them ... attending school. Half of these were in the largely former Texan community of El Monte” (Lyman 2003). When California was organized into townships in 1866, the area was named “El Monte Township,” while the government seat remained “Lexington.” Two years later, however, the original name “El Monte” was reinstated (Diaz 2005).

During the following years, farmers were generally successful, and with the exception of a few floods and droughts, the area continued to experience growth. Card parlors and dance halls were constructed, and the area also faced robberies and murders. Vigilantes began to deter these lawbreakers by hanging them. A particularly notable group of vigilantes in the area was known as the “Monte Boys” (Diaz 2005).

Much of El Monte’s early success in the economic sector was attributed to agriculture. The success of the economy was “based on products such as wool, honey, grain, fruit, castor oil, hops, cotton, and El Monte bacon” (Diaz 2005:42). Another contributor to the city’s economy was the Willow Grove Inn, which was located on the Butterfield Stage route between Riverside and Los Angeles, and was founded, owned, and operated by the Thompson family, who came to El Monte from Iowa in 1851.

Notable milestones for El Monte in the late 1800s include: the Southern Pacific Railroad extended the railway through El Monte in 1873; a town newspaper began to be published in 1876; and a drug store was opened in 1892. Agriculture continued to thrive in El Monte during the early twentieth century; however, the focus had shifted from field crops to fruit orchards, walnut groves, truck farms, hay and vegetable fields, and dairy. For example, Edward Robbins founded Arden Farms in El Monte in 1904, where he raised dairy cows and used state-of-the-art milk bottling facilities (Gelson’s Markets n.d.). Bodger Seed, Ltd., which was established in 1890 (Wallace 2010), also contributed to the agricultural success of the area, purchasing large tracts of land in the southern part of El Monte to be used for seed production. The geometric patterns of these fields also brought many visitors to the area during blooming season, earning the area the name “Las Flores” (Diaz 2005).

In 1901, the El Monte Union High School District was formed. This district included students from Bassett, Whittier, Montebello, Rosemead, Temple City, Arcadia, Monrovia, and El Monte. In its inaugural year, the school hosted 12 to 15 students in a single room located upstairs in the old Lexington Avenue Grammar School. Sixty-five students were enrolled in 1908 and classes were held at a separate high school campus (Diaz 2005). In 1906, Main Street was graded and paved for the first time, and in 1907, Pacific Electric Railway initiated an intercity railroad service in El Monte. The revolution in Mexico in 1910 brought many Mexican immigrants to the southwestern United States, including many who found jobs working in the agricultural sector in El Monte. Two years later, El Monte was officially incorporated on

November 18, 1912 (Velazquez 2012). Until incorporation, fire and police services had been provided by volunteers.

In the 1920s, Gay's Lion Farm was established in El Monte, bringing with it wild animals used in the film industry (Plate 1). European-born Charles and Muriel Gay, both of whom were former circus performers, drew more than two million visitors to the region (Velazquez 2012). The farm housed over 200 African lions, with individual cages for the adults, a nursery cage for cubs, and an arena cage for training and performing. Many of the lions went on to star in films during the 1920s and 1930s, perhaps the most notable being the lion that can be seen, and heard, at the start of any Metro-Goldwyn-Mayer (MGM) film (Diaz 2005; Velazquez 2012). El Monte High School adopted the MGM lion as their mascot, and occasionally, the Gays would bring a lion to home football games. The lion farm was closed during World War II, and due to Charles Gay's deteriorating health following the war, was never reopened. An original bronze lion statue that used to sit at the entryway to the farm is one of its only remaining symbols and is currently housed at El Monte High School (Velazquez 2012).

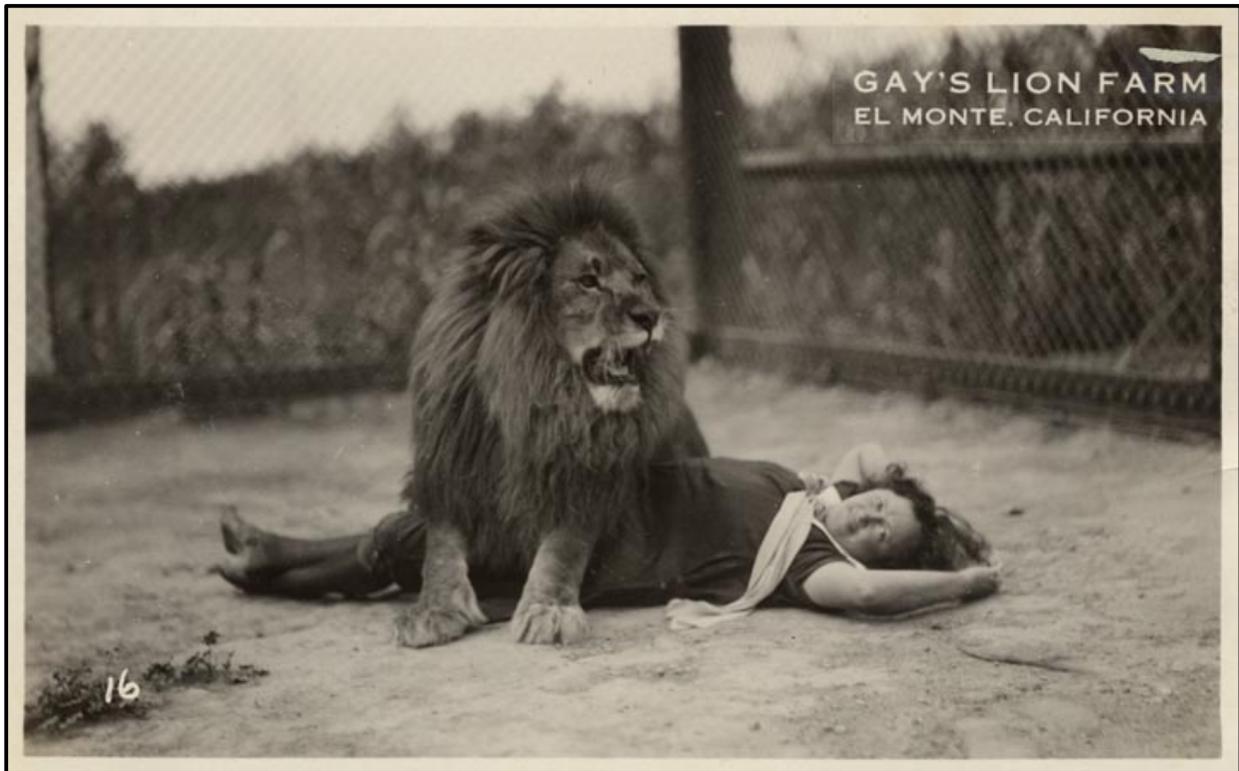


Plate 1: 1920s postcard for Gay's Lion Farm.
(Courtesy of the California State Library)

In the 1930s, the Great Depression brought economic hardship to the city of El Monte. Farming was not nearly as profitable as it had once been, forcing landowners to sublet small tracts of their land. Japanese tenants occupied many of these tracts, using the land to raise more profitable crops such as berries, melons, and vegetables (Diaz 2005). Other areas of El Monte were divided into smaller home sites and the city became a bedroom community. In June of 1933, Mexican workers went on strike during the berry picking season, arguing for higher wages because their current wages were “inhuman, oppressive, un-American ... [at a] low wage scale of 6, 9, 11, and 15 cents per hour” (Modell 1977:122). These strikes were focused within the Japanese berry growing districts, and at one point, Los Angeles law enforcement became involved, jailing picketers for loitering. A temporary agreement was reached after a month, but in the following years, conflict continued. The Mexican workers threatened to walk off the job prompting Japanese-American and white farm owners, with the backing of the El Monte Chamber of Commerce, threatened to have any Mexican farm labor strikers deported (Modell 1977). Also in 1933, the high school in El Monte was significantly damaged by the Long Beach earthquake, and nearly half of the school was rendered unsafe. A new, larger school was erected in 1939; that building still houses the present-day El Monte High School (Diaz 2005).

Much like the Great Depression, World War II brought many changes to El Monte. Small aircraft factories were erected on the west side of the city and the agricultural sector dwindled as several farms and dairies shut down. Through the 1940s and 1950s, the city of El Monte experienced a population boom. In the span of five years, enrollment at the high school more than doubled, growing from 1,500 to 3,700 students. One school was no longer enough to house all of these students, and beginning in 1949, four additional schools were constructed (Diaz 2005).

As of 2005, El Monte had a population of approximately 116,000 people, making it the tenth largest city in Los Angeles County. El Monte is home to several large industries, including Longo Toyota, which is the largest auto dealership in the world. The self-proclaimed “Longo campus” is over 50 acres and houses its own Penske College, a training and development center where employees learn to advance their careers (Longo Toyota n.d.). Other large industries in El Monte include the Wells Fargo Operations Center and the Vons Distribution Warehouse (Diaz 2005).

IV. METHODS AND RESULTS

Archival Research

Records relating to the ownership and developmental history of this project were sought with a view to not only fulfill the requirements of this report, but to identify any associated historic or architectural significance. Records located at the BFSA research library, the City of El Monte, the Los Angeles County Library, and the Los Angeles County Assessor/Recorder/County Clerk were accessed for information regarding the VEMDC. Title

records for the property were also obtained. Appendix C contains maps of the property, including historic and current USGS maps, original subdivision maps for the project area, and the current Assessor’s parcel map.

History of the Property: Ownership and Development

Currently, the VEMDC is comprised of five separate buildings that were completed between 1957 and 1976 (Table 1) between Lower Azusa Road and the Southern Pacific Railroad line in the city of El Monte in Los Angeles County, California. According to the Chain of Title, the property is described as “Parcels 1, 2, and 3, in the city of El Monte, county of Los Angeles, state of California, as shown on Parcel Map 319, filed in book 85, page 15 of parcel maps, in the Office of the County Recorder of said county, as further described in document recorded May 26, 2016, as File No. 2016-0602077.”

Table 1
Construction History

Building	Use	Construction Year
1	Grocery warehouse	1957
2	Deli/perishable warehouse	1962
3	Truck service building	1968
4	Service building	1976
5	Meat service center	1976

Shopping Bag Food Stores, Inc. (Shopping Bag Food Stores) purchased Parcel 1 from Arden Farms, Co. in 1956 (Table 2). Buildings 1 and 2 were constructed on Parcel 1 in 1957 and 1962, respectively. Parcel 2 was purchased by Von’s Grocery Co. (Vons) from Harold and Barbara Tollerup in 1963 (Table 3). Building 5 was constructed on Parcel 2 in 1976. Vons purchased Parcel 3 in 1963 from Harold and Barbara Tollerup (Table 4). Buildings 3 and 4 were constructed on Parcel 3 in 1968 and 1976, respectively.

Table 2
Title Records for Parcel 1

Grantor	Grantee	Year
Arden Farms Co.	Shopping Bag Food Stores, Inc.	1956
Shopping Bag Food Stores, Inc.	Von’s Grocery Co.	1960

Grantor	Grantee	Year
The Vons Companies, Inc.	GLG El Monte, LLC	2016

Table 3
Title Records for Parcel 2

Grantor	Grantee	Year
Chris Tollerup, aka Chris Olsen Tollerup, aka Christen Olsen Tollerup	Harold Ray Tollerup and Carroll Tollerup	1950
Carroll C. Tollerup	Harold R. Tollerup	1962
Harold Ray Tollerup, aka Harold R. Tollerup and Barbara Tollerup	Von's Grocery Co.	1963
Harold Ray Tollerup, aka Harold R. Tollerup and Barbara Tollerup	Von's Grocery Co.	1963
Von's Grocery Co.	Vons Realty Co.	1977
Vons Realty Co.	Vons Grocery Co.	1978
Vons Grocery Co.	HMI Holdings, Inc.	1986
HMI Holdings, Inc.	The Vons Companies, Inc.	1987
The Vons Companies, Inc.	GLG El Monte, LLC	2016

Table 4
Title Records for Parcel 3

Grantor	Grantee	Year
Chris Tollerup, aka Chris Olsen Tollerup, aka Christen Olsen Tollerup	Harold Ray Tollerup and Carroll Tollerup	1950
Carroll C. Tollerup	Harold R. Tollerup	1962
Harold Ray Tollerup, aka Harold R. Tollerup and Barbara Tollerup	Von's Grocery Co.	1963
Harold Ray Tollerup, aka Harold R. Tollerup and Barbara Tollerup	Von's Grocery Co.	1963
The Vons Companies, Inc.	GLG El Monte, LLC	2016

Shopping Bag Food Store History

The first Shopping Bag Food Store was located at Wilshire Boulevard and La Brea Avenue in Los Angeles. Founded by W.R. Hayden and W.D. Rorex, the store opened in the fall of 1930 with the slogan, “busy, friendly food stores” (*Los Angeles Times* 1950; *Covina Argus* 1956). The company soon expanded, and by 1950, they had opened 20 stores (*Los Angeles Times* 1950). The company focused their expansion efforts in suburban Los Angeles, and by 1958, had 34 stores (*Pasadena Independent* 1958). Many of the stores built in the 1950s contained their own bakeries and/or kitchens in order to prepare ready-made products (*Los Angeles Times* 1952).

Prior to the purchase of Parcel 1 by Shopping Bag Food Stores in 1956, aerial photographs indicate that it was used for residential and agricultural purposes. By 1954, the residential and agricultural buildings on the northern portion of the property had been demolished, and in 1956, Shopping Bag Food Stores began construction of the first five buildings to be built on the lot (Plate 2). The buildings consisted of a 41,600-square-foot office building (office portion of Building 1, demolished in 2011) with an attached 145,160-square-foot warehouse (original warehouse portion of Building 1, still extant), a 60,000-square-foot bakery and delicatessen building (demolished in 2010), a single-story, 8,000-square-foot maintenance shop (demolished at an unknown date), and a 7,200-square-foot truck service building (demolished at an unknown date). The architect for these buildings was H.W. Underhill and the general contractor was Ernest W. Hahn. In mid-April of 1957, “Shopping Bag Food Stores staged grand opening ceremonies” for the completion of the complex (*Covina Argus* 1957a).



Plate 2: 1956 newspaper photograph of the original north façade of Building 1.
(*Courtesy of Covina Argus 1956*)

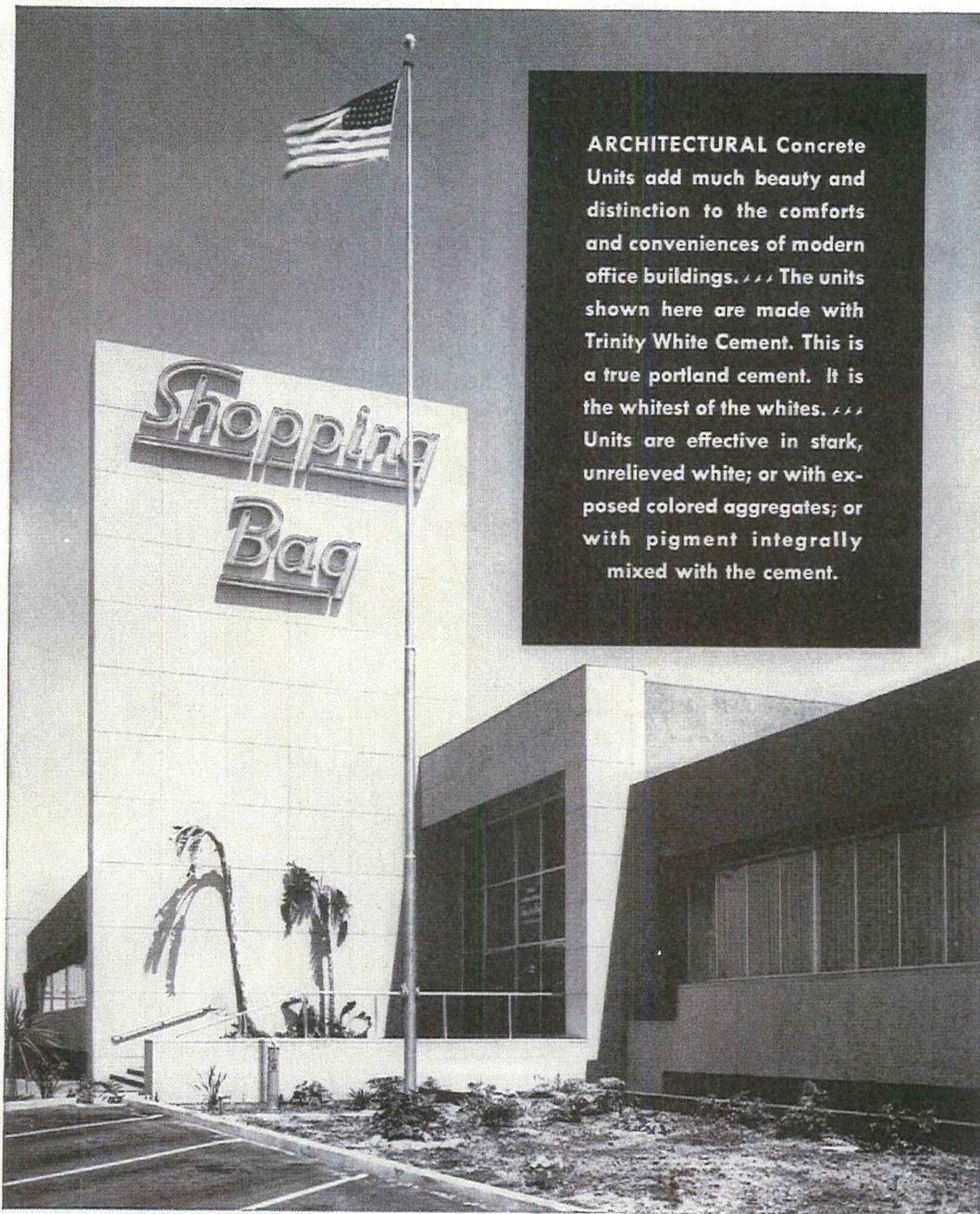
The now demolished office portion of Building 1 was located on the north façade of the warehouse facing Lower Azusa Road (Plate 3) and was described as a “modern up to the minute office building” (*Covina Argus* 1956). The building originally contained “the general accounting offices, as well as all offices for buyers, [the] advertising department, company officials, and all other general offices” (*Covina Argus* 1956). Designed as a Mid-Century Modern-style office with International influences, the building exhibited wide horizontal bands of aluminum-framed windows, floor-to-ceiling windows at the entrance, and a concrete block accent wall with integrated “Shopping Bag” signage (see Plate 3). The concrete block accent wall was referred to as “the familiar white pylon of Shopping Bag Food Stores” (*San Bernardino Sun* 1955:10) and was used in the design of many of the company’s stores in the 1950s.

The original, still extant, warehouse portion of Building 1 was described as “a 408x360 foot building of fireproof brick and stucco construction” (*Covina Argus* 1956) that was “designed to be enlarged” (*Covina Argus* 1957). The warehouse was not designed in any specific architectural style and is best described as an industrial, utilitarian building with a poured concrete foundation, brick walls, and a slightly-pitched roof with structural steel framing. The warehouse originally exhibited four roll-top loading doors on the west façade and six (two have since been bricked-up) metal, sliding, dock doors with wood shed roofs on the east façade. The warehouse was built to house the “grocery, liquor, department store and drug warehouse facilities” (*Covina Argus* 1956).

Because the El Monte area was not yet equipped with major highways in the late 1950s, a railroad spur line was installed to the east of Building 1, likely at the time of its construction. The line connected to the Southern Pacific Railroad at the southern end of the property. While not visible on aerial photographs until 1964, due to a 10-year gap in aerial photograph coverage, this period of construction for the spur line is supported by the presence of check-in-style windows (now bricked-up) on the east façade, which are likely original to the building (Plate 4).

The now demolished bakery and delicatessen building, which was constructed at the same time as Building 1, was located southwest of Building 1, facing Shirley Avenue. A 1955 advertisement published in the *Los Angeles Times* emphasized the “modern and sanitary conditions” of the delicatessen kitchen (*Los Angeles Times* 1955a). This building was meant to serve as the central location for the preparation of all bakery products:

All packaging of delicatessen products and preparation of Shopping Bag delicatessen specialty items, such as chicken pies, enchiladas and salads, will be done fresh daily on these premises. All delicatessen and bakery merchandise is rushed first-day fresh to the 31 Shopping Bag Food Stores located throughout the Southland. (*Covina Argus* 1956)



ARCHITECTURAL Concrete Units add much beauty and distinction to the comforts and conveniences of modern office buildings. . . . The units shown here are made with Trinity White Cement. This is a true portland cement. It is the whitest of the whites. . . . Units are effective in stark, unrelieved white; or with exposed colored aggregates; or with pigment integrally mixed with the cement.

General Office Building, Shopping Bag Food Stores, Inc. • El Monte, Calif. • Architect: H. W. Underhill, Los Angeles • General Contractor: Ernest W. Hahn, Inc., Hawthorne, Calif. • Concrete Products Manufacturer: C. D. Wailes Co., Sun Valley, Calif.

Trinity White

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Plate 3
1960 Advertisement Showing the Original
North Façade of Building 1
 4300 Shirley Avenue
(Courtesy of the Journal of the American Institute of Architects 1960)

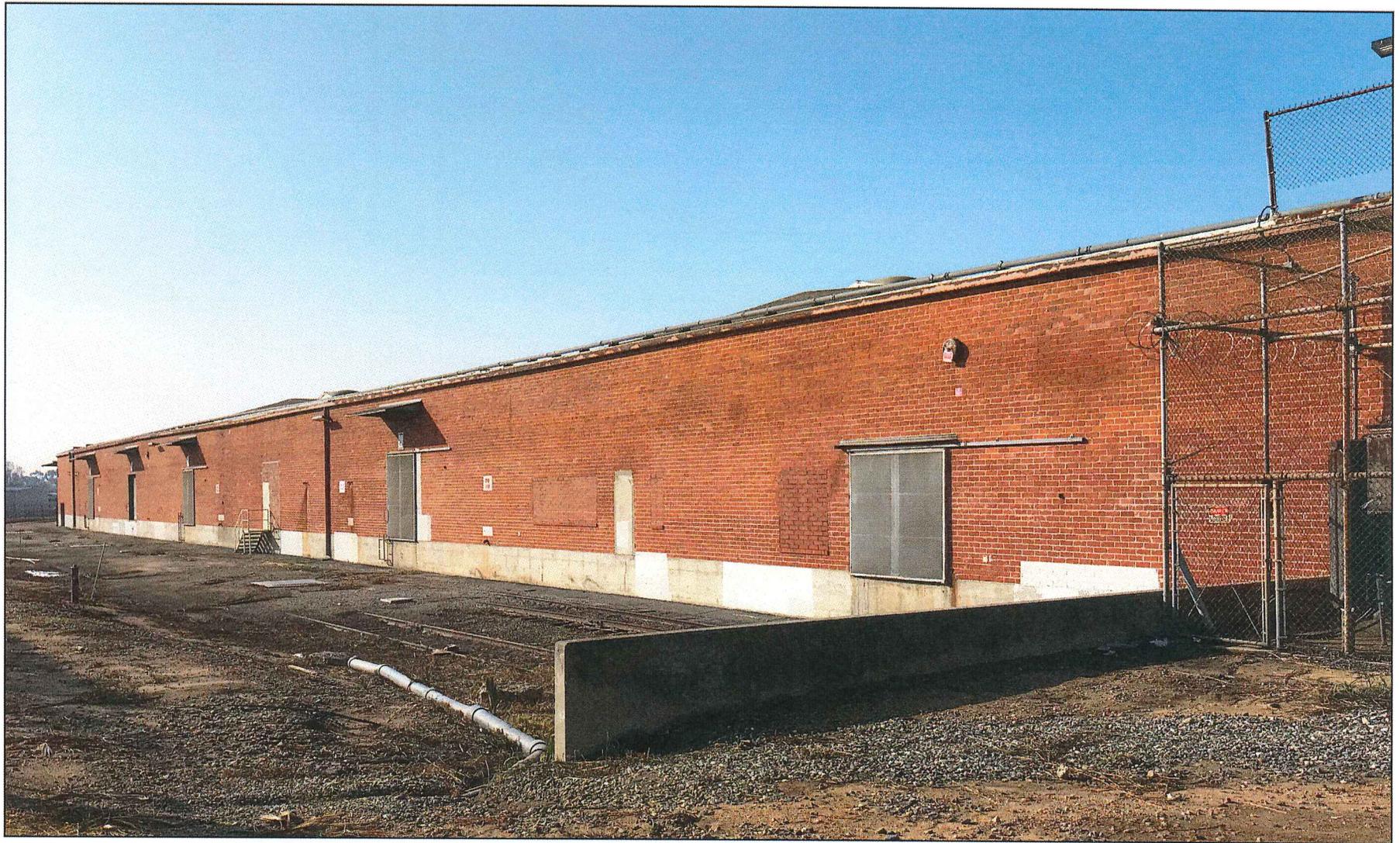


Plate 4

**View of the East Façade of Building 1, Facing West,
Showing Original Construction and Design – Note the Enclosed and
Covered Windows that Have Affected the Building’s Integrity of Design**

4300 Shirley Avenue



The Shopping Bag Food Stores headquarters was located at 2716 San Fernando Road (Plate 5) in Los Angeles until the distribution center and accompanying offices were constructed at 4300 Shirley Avenue in El Monte in 1957 (*Los Angeles Times* 1957; *San Bernardino Sun* 1955). The Los Angeles offices, warehouses, delicatessen kitchen, and bakery were sold shortly after the move.

In 1960, Von's Grocery Co. (Vons) merged with Shopping Bag Food Stores and acquired their 38 locations. Following the merger, Vons purchased the 4300 Shirley Avenue property and relocated their corporate headquarters to the office portion of Building 1 (Plate 6). W.R. Hayden, one of the founders of Shopping Bag Food Stores, became a vice-president of Vons after the merger. Hayden also served on the Vons board of directors until 1972 (Oliver 1990). The original warehouse portion of Building 1 is still extant; however, it has undergone several additions and has been modified multiple times since its construction in 1957, after the 1960 merger. Vons utilized the bakery and delicatessen building for 50 years. During that time, additions were made to the building in 1965, 1975, and 1976, before its demolition in 2010.

Six years after the merger, the Federal Trade Commission challenged the deal. Although Vons won the case twice in the lower court, in 1967, “the US [sic] Supreme Court reversed the decisions and ordered an immediate divestiture” (Stark and Kennedy 2014) because the merger violated antitrust laws (*Los Angeles Times* 1966). Following this ruling, Shopping Bag Food Stores was purchased by the E.F. MacDonald Company in June of 1967 (Harvard Business School n.d.). However, Vons retained ownership of the El Monte distribution center (the VEMDC buildings). In 1970, Shopping Bag Food Stores was acquired by Fisher Foods, Inc., the parent company of the Fazio's grocery store chain (FundingUniverse n.d.).



Plate 5: Original Shopping Bag Food Stores office and warehouse located at 2716 San Fernando Road in Los Angeles. (*San Bernardino Sun* 1955)



**Plate 6: Vons logo on the “familiar white pylon” of Building 1 after the 1960 merger.
(Courtesy of Von’s Grocery Co.)**

Vons Stores History

Charles Von der Ahe, the founder of Vons, opened his first store on the corner of 7th and Figueroa streets in Los Angeles in 1906 (Plate 7) (Albertson Companies, LLC 2018). Prior to 1906, Von der Ahe worked as a delivery boy in Illinois and in several markets on his way to California, “observing merchandising techniques and customer buying patterns first hand” (FundingUniverse n.d.). Von der Ahe went on to open several additional Vons stores, always aiming to utilize innovative strategies, such as being the first to introduce “cash and carry” and self-service, as well as leasing storefronts to produce vendors and butchers, which essentially created the modern day “supermarket” (Stark and Kennedy 2014). By 1929, the Vons Grocery Company had 87 stores in operation (Albertson Companies, LLC 2018).



Plate 7: Vons Store No. 1 in 1906.
(Courtesy of the Los Angeles Times 1980)

Prior to the crash of the stock market, Von der Ahe sold his stores to McMarr Stores in 1928 per (Stark and Kennedy 2014), which were eventually bought by Safeway in the 1930s. After this, Von der Ahe decided to retire; however, three years later, Von der Ahe assisted his sons, Ted and Wil, in opening a new Vons operation in the Los Angeles area. With the experience, assistance, and funding from their father, Ted and Wil Von der Ahe opened multiple Vons stores throughout the area, including the first true “supermarket” in downtown Los Angeles in 1948. This supermarket was 50,300 square feet and included self-service produce, meat, and delicatessen departments (FundingUniverse n.d.). Vons constructed its own distribution center in 1956 at 2700 South Garfield Avenue in Los Angeles. The building included a sign shop, a grocery warehouse, a delicatessen kitchen, produce offices, a produce warehouse, and produce receiving docks with 54 steel, roll-top doors (Stark and Kennedy 2014).

After the merger with Shopping Bag Food Stores in 1960, the total number of Vons stores grew to 66. However, after the United States Supreme Court ruling in 1967 ordering the immediate divestiture of the Vons-acquired Shopping Bag Food Stores, Vons was bought out by the Household Finance Corporation, which added the chain to its Household Merchandising Division (FundingUniverse n.d.). Vons began expanding into the San Diego area in the 1970s. Around the same time, the company also decided to expand operations to include wholesale

marketing to other chains (FundingUniverse n.d.). As a result, Vons became the number one grocery retailer in southern California (Albertson Companies, LLC 2018). Vons opened a number of mid-sized stores, or “Value Centers,” which sold food and drugs in a single location.

Vons continued to expand in the 1980s, opening new locations in the Fresno area (FundingUniverse n.d.). In 1984, Vons was named the official supermarket of the Los Angeles Olympics and was responsible for providing food for more than 12,000 people. Vons also received rights to merchandising and advertising opportunities. This allowed them to decorate their stores using the Olympic theme, putting the Olympic logo on various food items (FundingUniverse n.d.).

In 1986, it was announced that top officials of the Household Merchandising Division had devised a buyout plan for Vons. Roger E. Stangeland conceived the plan, and would later become the chairperson of the newly independent Vons. The deal was worth \$757 million, making it the largest retail buyout in the United States at that time. Following the buyout, part of the company mission included the development of an expanded “combination store.” Much like the “Value Centers” of the 1970s, Vons opened stores called “Pavilions,” which offered both food and non-food sections (FundingUniverse n.d.).

In December of 1986, Vons entered into a \$700 million merger deal with Allied Supermarkets, Inc. that made Vons public and allowed Allied Supermarkets to control the company’s debt load. The merger was successful, and Vons went public on the New York Stock Exchange in early 1987 (FundingUniverse n.d.). That same year, following market research, Vons identified that “by 1990 an estimated 40 percent of southern California’s population would be of Hispanic origin” (FundingUniverse n.d.). Following this declaration, Vons opened a superstore named “Tianguis” in Montebello, California. The store was erected to meet the specific demands of the Hispanic customer, offering bilingual signs and employees, an expanded produce section to include Mexican herbs, fruits, vegetables, and other imports, widened aisles to allow for socializing, and diaper changing rooms to allow for a family experience (FundingUniverse n.d.).

In 1988, Vons acquired 172 Safeway stores in southern California for \$408 million and more than one-third of Vons’s ownership in stocks (35 percent). The transaction nearly doubled the number of Vons stores, but also had the debilitating effect of making the company’s debt soar. In 1989, the Vons corporate offices were relocated to Arcadia, California (Stark and Kennedy 2014). In an attempt to increase per-store profitability, Vons contributed an average \$1.3 million per store to remodel the newly acquired Safeway locations. The strategy paid off, and by November of 1990, Vons saw a significant increase in their average sales-per-square-foot. By 1991, Vons’s financial situation had vastly improved, and in 1992, they acquired even more stores from Williams Brothers Markets (FundingUniverse n.d.). However, the early 1990s also brought a food poisoning case involving Jack-in-the-Box and the temporary closure of 45 stores following the 1994 Northridge earthquake. As a result, Vons was faced with restructuring their company. By 1995, with the strengthening southern California economy, Vons began to

stabilize (FundingUniverse n.d.). In 1996, Vons added 12 new stores, with 12 to 15 more planned in 1997. However, before any further expansion could take place, Safeway offered to buy the remaining 65 percent of Vons that they did not already own. The \$2.5 billion sale went through in November of 1997 (FundingUniverse n.d.).

Grocery Store Warehouse and Distribution Center History

The grocery business began utilizing warehouses as early as the 1920s. Prior to 1923, the storage of produce and other agricultural items was not regulated by the federal government and the United States Warehouse Act (USWA), which regulates warehouse licensing for agricultural commodity warehouse operators, only applied to grain, tobacco, wool, and flaxseed. The USWA was amended in 1923 to extend coverage to other non-perishable agricultural commodities including beans, nuts, and sugar. Additional federal regulations came along in the late 1920s and 1930s, including the Perishable Agricultural Commodities Act of 1930, which extended protections for produce and other stored commodities (Armbruster and Knutson 2013).

Despite these new regulations, which favored both suppliers and sellers, most early grocery stores in southern California were not large enough to even require the purchase or operation of their own separate warehouses or distribution centers. Prior to the widespread use of household refrigerators in the 1920s and 1930s, the average consumer did not require dairy or meat products to be as heavily stocked at their local grocery store, and therefore, supply of these items could remain relatively low. However, as the household refrigerator became more common, the grocery industry began its slow transition from individual corner stores to larger grocery chains between the 1920s and the 1940s allowing households to buy a full week or more of perishable foods. This necessitated the use of warehouses and distribution centers to meet growing customer demand for refrigerated items (SurveyLA 2017). Many early grocery warehouses were located along active railroad lines (Utley n.d.) since the modern highway system was not truly functional until the passage of the Federal Aid Highway Act of 1956 (Weingroff 1996).

Although Shopping Bag Food Stores undoubtedly utilized warehouses prior to the 1940s, their first large-scale warehouse and distribution center was not constructed until circa 1948 to 1952 at 2716 San Fernando Road in Los Angeles. Similarly, the first high volume warehouse and distribution center to service Vons stores was not completed until August of 1956 at 2700 South Garfield Avenue in Los Angeles.

The development of the interstate system in southern California facilitated easier and more widespread distribution between grocery store locations and grocery suppliers, which lessened the need for railroad access. The city of El Monte is located at the intersection of Interstate 605 (I-605) and Interstate 10 (I-10), making it the hub of the San Gabriel Valley. I-10 was first signed in California as early as 1958 (Forgotten Hwy Productions 2018) and was the only major freeway in the area in the 1950s. Also known as the Santa Monica Freeway, the San Bernardino Freeway, and the Redlands Freeway in various portions of California, I-10 currently

runs from California State Route 1 in Santa Monica, east to the city of Blythe on the border of California and Arizona, continuing all the way to Jacksonville, Florida (Ballard 2014). In 1954, the “San Bernardino Freeway” was being constructed between El Monte and Covina; however, there was a dispute over the placement of the route since the construction of the interstate would essentially cut the city of El Monte in half (Faigin 2012). Construction of the freeway proceeded, and as a result, the city of El Monte is currently located both north and south of I-10, from Rosemead Boulevard to the San Gabriel River (Caltrans 2010).

Construction of I-605, which is also known as the San Gabriel River Freeway, began in 1964. This interstate follows the San Gabriel River between Interstate 405 and California State Route 22 in Seal Beach, and Interstate 210 (I-210) and California State Route 66 in Duarte (AARoads 2012). The freeway intersects with Interstate 5, providing access to the San Gabriel Valley and the city of Long Beach, and feeds into many other roadways, allowing it to function as a major collector and distributor route (Caltrans 2013). The northern end of I-605 was completed in 1971, extending it from I-10 to I-210 (Faigin 2017). The I-10/I-605 interchange, located near the city of El Monte, was designed in 1964 with the intent of accommodating traffic until 1984; however, no major changes have occurred since its original construction.

Field Survey

BFSA conducted a photographic documentation survey on January 11, 2018. Preparation of architectural descriptions was conducted in the field and supplemented using the photographic documentation. Additional information was drawn from supplemental research efforts and incorporated into this report.

Description of Surveyed Resources

The VEMDC buildings were constructed by both Shopping Bag Food Stores and Vons over 19 years and include: a grocery warehouse built in 1957 (Building 1); a deli/perishable warehouse built in 1962 (Building 2); a truck service building built in 1968 (Building 3); a service building built in 1976 (Building 4); and a meat service center built in 1976 (Building 5). A photographic key has been provided before the plates for each building (Figures 1 through 5) to assist with the building descriptions.

Building 1

Building 1 was originally constructed in 1957 as a combination warehouse and office building. The building was designed by H.W. Underhill and constructed by Ernest Hahn. In 1960, a 258-by-360-foot warehouse addition was constructed onto the south façade of the building. No building permits could be located for the 1960 addition; however, it was designed in the same style as the original 1957 portion and utilized similar (possibly from the same source) materials (Plates 8 and 9).

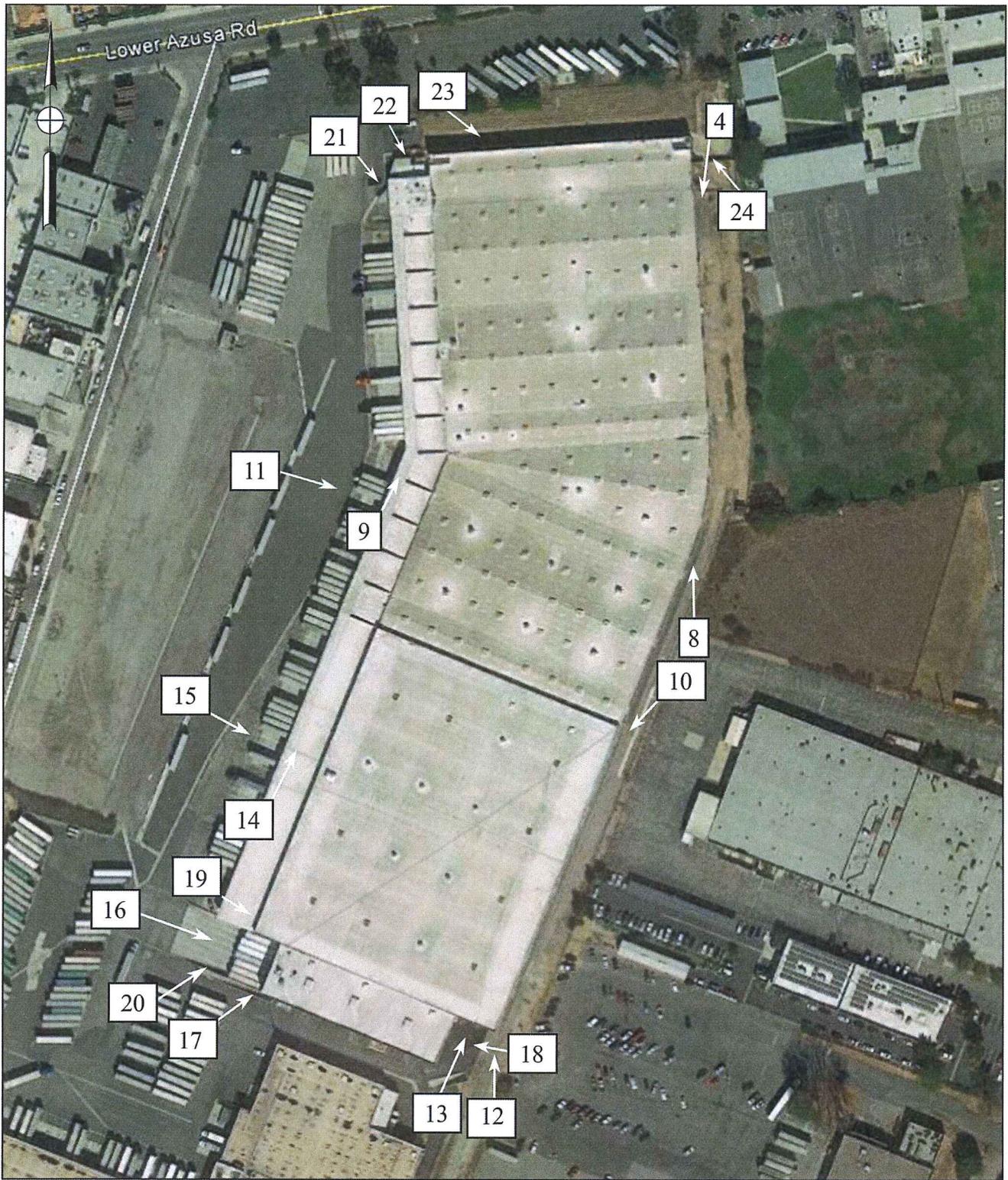


Figure 1
Photographic Key
Building 1
4300 Shirley Avenue



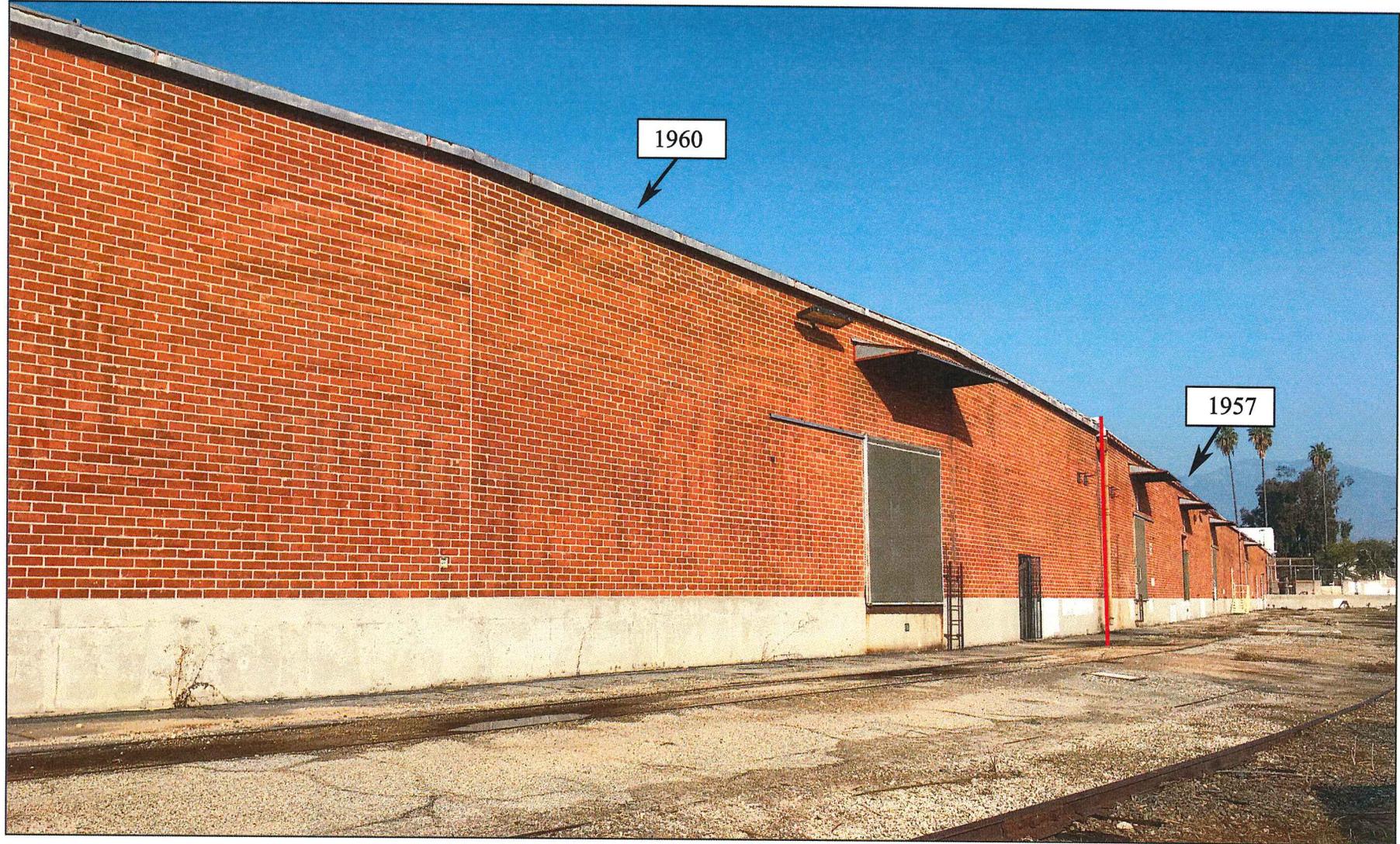


Plate 8

View of the East Façade of Building 1 Showing the Original 1957 Portion (Right) and the 1960 Addition (Left), Facing Northwest

4300 Shirley Avenue





Plate 9

**View of the West Façade of Building 1 Showing the Original 1957 Portion (Left)
and the 1960 Addition (Right), Facing North**

4300 Shirley Avenue



The 1960 addition exhibits three metal sliding and two metal roll-top dock doors on the east façade (see Plates 8 and 10) and three aluminum roll-top dock doors on the west façade (see Plate 9), all of which match the doors on the original 1957 portion of the building. A raised concrete platform runs the length of the 1960 addition west façade (Plate 11).

In 1967, a 254,000-square-foot warehouse addition, which includes 162,000 square feet of first floor space and 92,000 square feet of basement space (originally used for parking), was constructed on the south façade of the building (Plates 10, 12, 13, and 14). Designed by architect Donald R. Warren in a Brutalist-inspired style, the addition is visually different from the remainder of the building and utilizes different, newer materials. The 1967 addition consists of poured concrete walls instead of brick and exhibits six metal sliding dock doors with metal shed roofs on the east façade (see Plates 10 and 12) and four modern PVC roller loading dock doors on the west façade (see Plate 14). Along the west façade of the 1957 to 1967 portions of Building 1 are a total of 189 truck spaces, each equipped with dock levelers. The general contractor for the 1967 addition was Hahn Co., operated by Ernest Hahn, who also constructed the original 1957 building; however, the appearance of the 1967 addition is different than the 1957 and 1960 portions of the building. In 1969, an approximately 8,400-square-foot canopy and dock addition was constructed on the west façade of the 1967 addition (Plate 15).

In 1980, a two-story warehouse and lunch room addition was constructed on the south façade of Building 1 (Plates 16 through 18). The addition was designed by Donald R. Warren in the Brutalist architectural style with concrete exterior walls, repetitive vertical accents on the southern wall, and fixed-pane, steel-framed windows (see Plate 17). The construction of the addition blocked access to the subterranean parking area on the south façade of the 1967 addition; as such, the 1967 addition parking area was converted to warehouse space and enclosed with concrete blocks (see Plate 13). The west façade of the 1980 addition exhibits seven loading bays equipped with dock levelers and metal roll-up doors (see Plate 16). Also in 1980, a receiving office constructed of plywood (Plate 19) and a metal canopy (Plate 20) were installed at the southwest corner of Building 1. In 1981, a 2,000-square-foot forklift shop building was constructed at the northwest corner of Building 1, off the original 1957 portion. The forklift shop building is metal-framed with corrugated metal walls and roofing (Plates 21 and 22).

Following the demolition of the 1957 office in 2011, a large stucco wall was constructed on the north façade of Building 1 (Plate 23). A small, second-story portion of the original 1957 office is still present at the northeast corner of Building 1 (Plate 24).

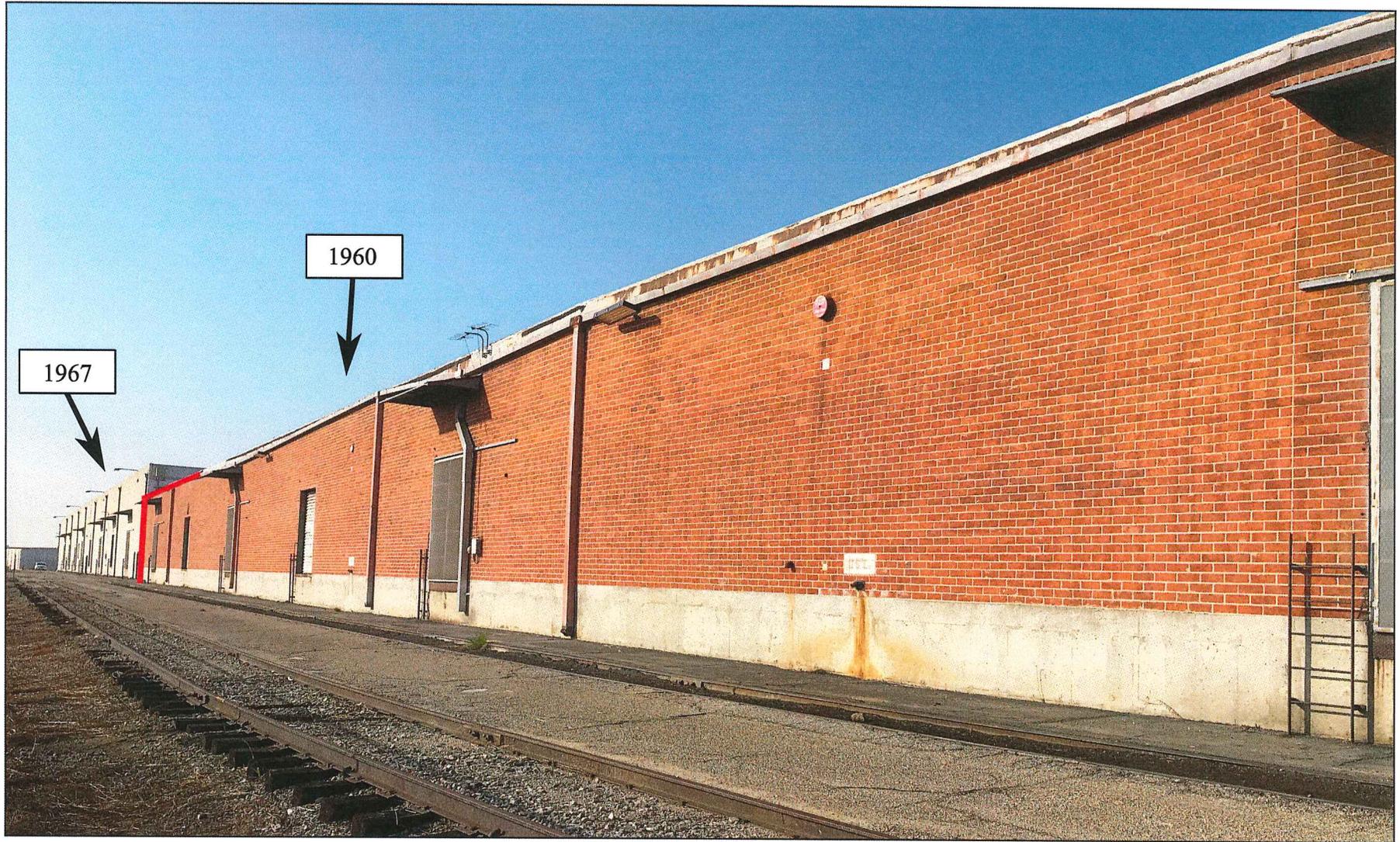


Plate 10

**View of the East Façade of Building 1 Showing the 1960 (Right)
and 1967 (Left) Additions, Facing Southwest**

4300 Shirley Avenue





Plate 11

**View of the Raised Concrete Platform on the West Façade
of the 1960 Addition of Building 1, Facing East**

4300 Shirley Avenue



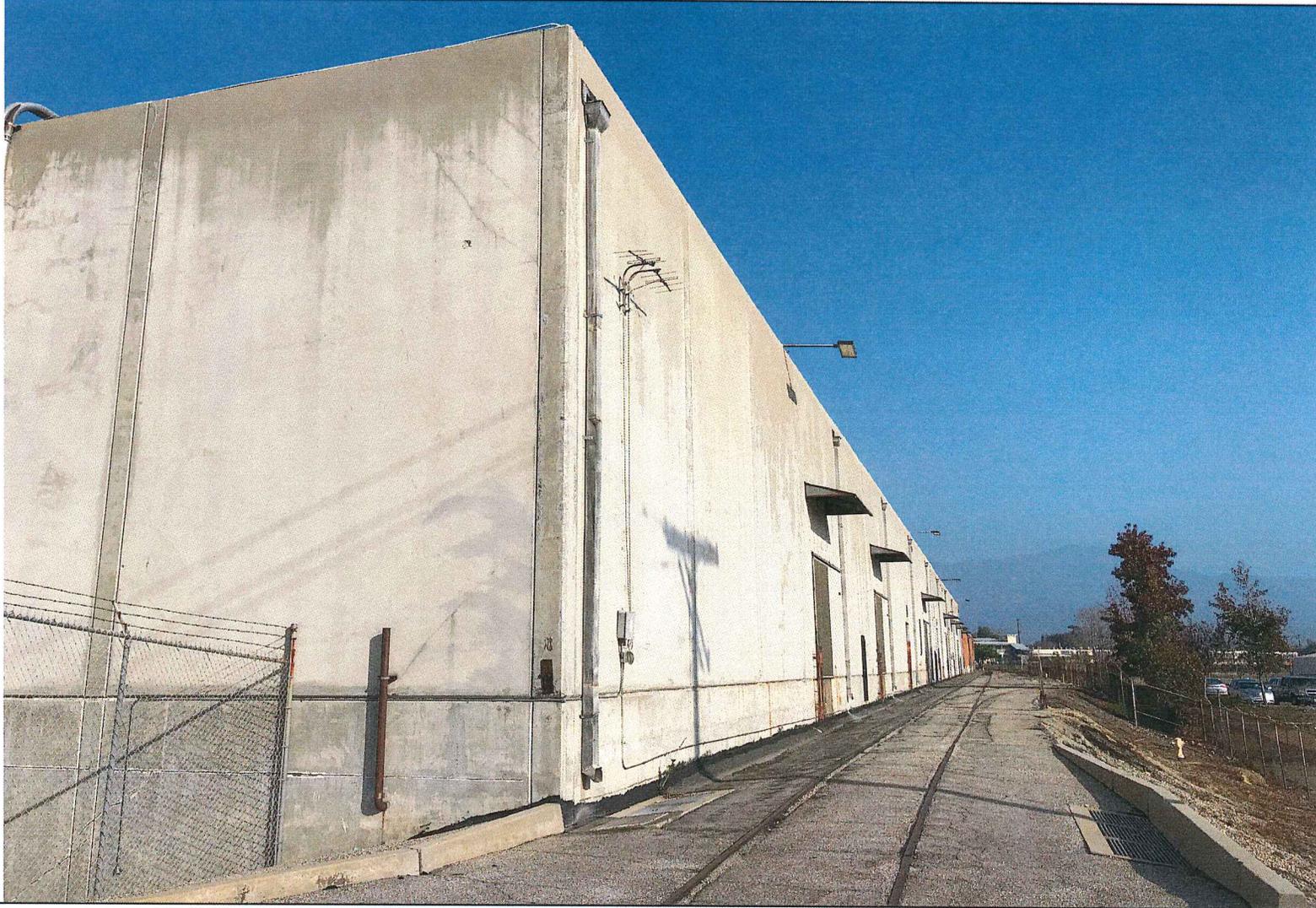


Plate 12

View of the Southeast Corner of the 1967 Addition of Building 1, Facing Northwest

4300 Shirley Avenue





Plate 13

View of the South Façade of the 1967 Addition of Building 1, Facing Northwest

4300 Shirley Avenue



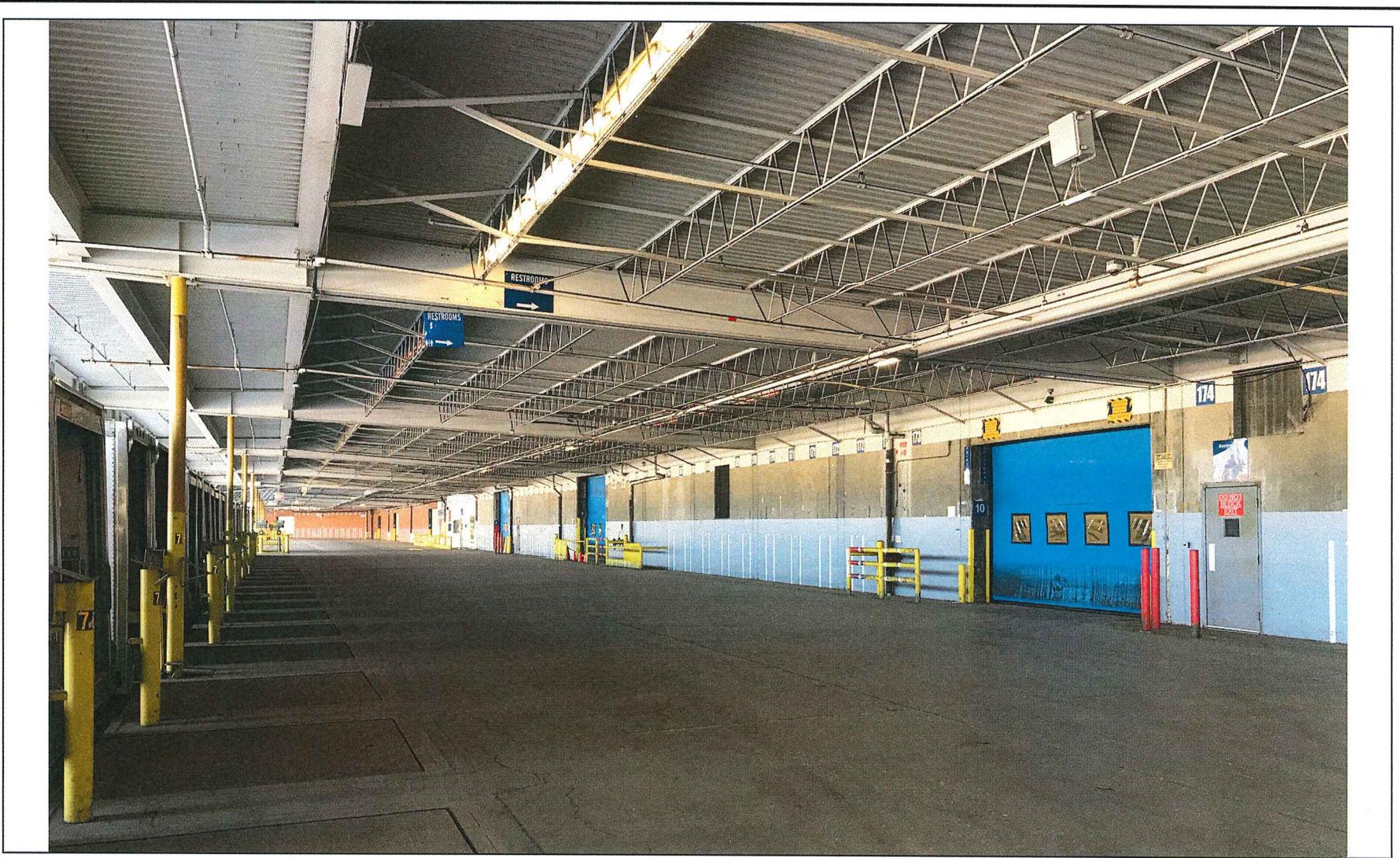


Plate 14

View of the West Façade of the 1967 Addition of Building 1, Facing North

4300 Shirley Avenue





Plate 15

**View of the West Façade of Building 1 Showing the 1960 (Left)
and 1969 (Right) Additions, Facing East**

4300 Shirley Avenue





Plate 16

**View of the West Façade of the 1980 Warehouse
and Lunch Room Addition of Building 1, Facing East**

4300 Shirley Avenue





Plate 17

**View of the South Façade of the 1980 Warehouse and
Lunch Room Addition of Building 1, Facing Northeast**

4300 Shirley Avenue





Plate 18

**View of the East Façade of the 1980 Warehouse and
Lunch Room Addition of Building 1, Facing West**

4300 Shirley Avenue





Plate 19

**View of the 1980 Receiving Office at the
Southwest Corner of Building 1, Facing Southeast**

4300 Shirley Avenue





Plate 20

View of the 1980 Canopy Addition (Left) at the Southwest Corner of Building 1, Facing Northeast

4300 Shirley Avenue





Plate 21

**View of the West Façade of Building 1 Showing the
1981 Forklift Shop Addition (Left), Facing Southeast**

4300 Shirley Avenue





Plate 22

View of the North Façade of the 1981 Forklift Addition of Building 1, Facing East

4300 Shirley Avenue





Plate 23

**View of the Stucco Wall Constructed on the North Façade
of Building 1 in 2011, Facing Southeast**

4300 Shirley Avenue



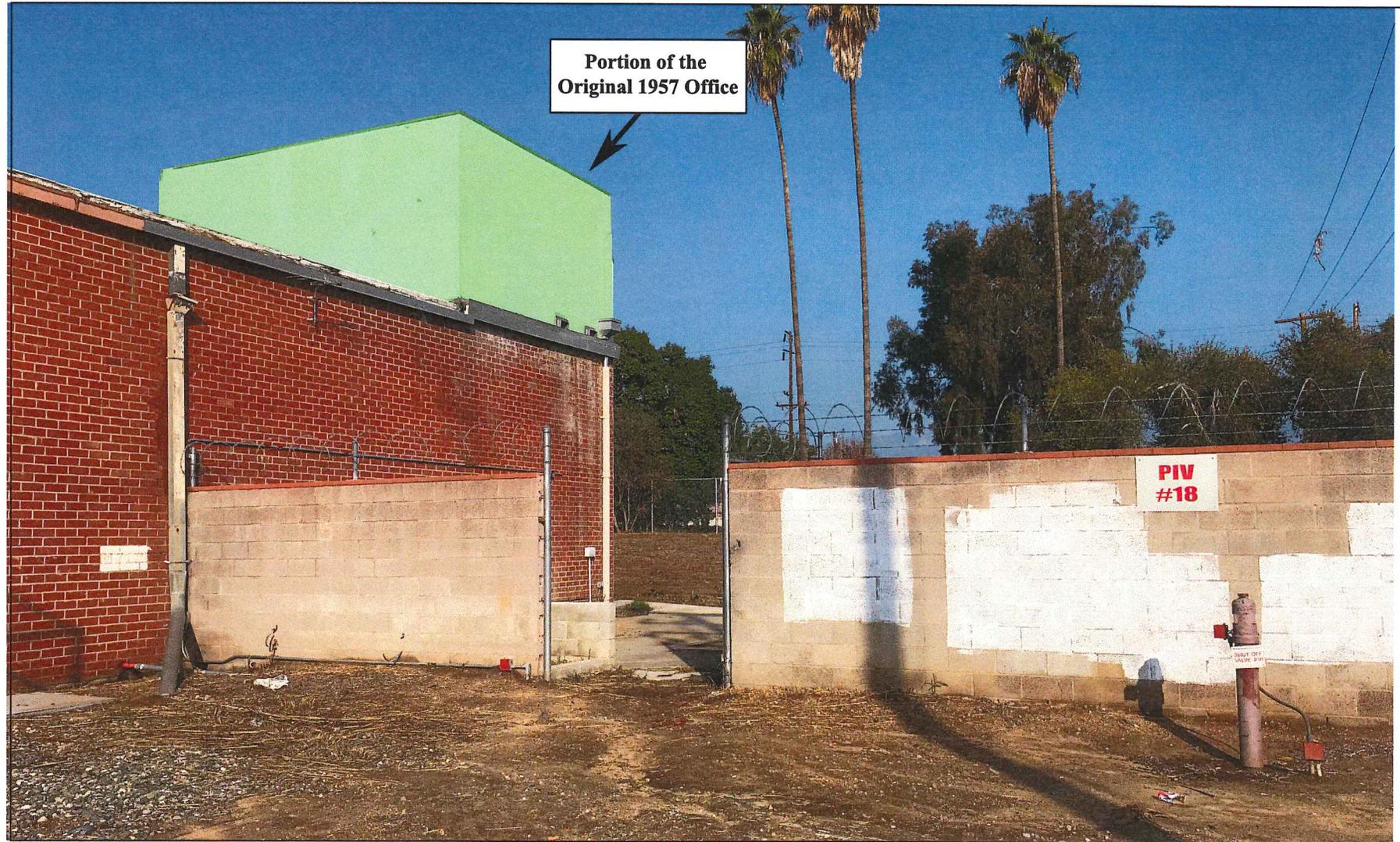


Plate 24

View of the East Façade of Building 1 Showing the Remaining Second-Story Portion of the Original 1957 Office (Highlighted in Green), Facing Northwest

4300 Shirley Avenue



Building 2

In 1962, Building 2 was constructed directly south of Building 1 as an International-style, 161,000-square-foot, “L”-shaped produce dock and delicatessen kitchen warehouse (Plate 25). The architect for Building 2 was A.C. Martin and the contractor was Ernest Hahn.



Plate 25: West façade of Building 2 circa 1962 to 1966.
(Courtesy of Stark and Kennedy 2014)

The footings of the original building consist of brick masonry and poured concrete, while the exterior walls are unfinished and painted masonry brick, painted concrete and concrete block, painted stucco, and painted corrugated metal (Plates 26 through 29). Horizontal bands of fixed-pane, metal-framed windows are located on the north (see Plate 26) and west (see Plate 29) façades of the delicatessen kitchen warehouse portion of the building. The west façade of the delicatessen kitchen warehouse

also exhibits a cantilevered “eyebrow overhang” (see Plate 28).

The produce dock portion of the building houses 54 loading bays that exhibit sectional, sliding metal doors, which when pulled up rest inside the door header (Plates 30 through 32). Two older, roll-top-style loading doors are located at the southeast corner of the produce dock (Plate 33). The lack of loading doors on the east façade of the produce dock (Plate 34) indicates that the railroad spur line was likely less integral to the operation of the facility by 1962. This might be related to the signing of I-10 in 1958 and its subsequent use as a major interstate, which replaced rail deliveries with trucks.

In 1976, a 198-by-328-foot dry dock (Plates 35 through 38), which houses 36 truck spaces with dock levelers on the west and east façades, and subterranean “deli warehouse” (Plate 39) were constructed onto the south side of the original 1962 building. The 1976 dry dock addition was constructed by an unknown designer and an unknown contractor. The addition does not appear to have been designed in any particular architectural style and can be classified as an industrial utilitarian structure. Aerial photographs indicate that prior to the construction of the dry dock, the south façade of Building 2 exhibited numerous loading bays.

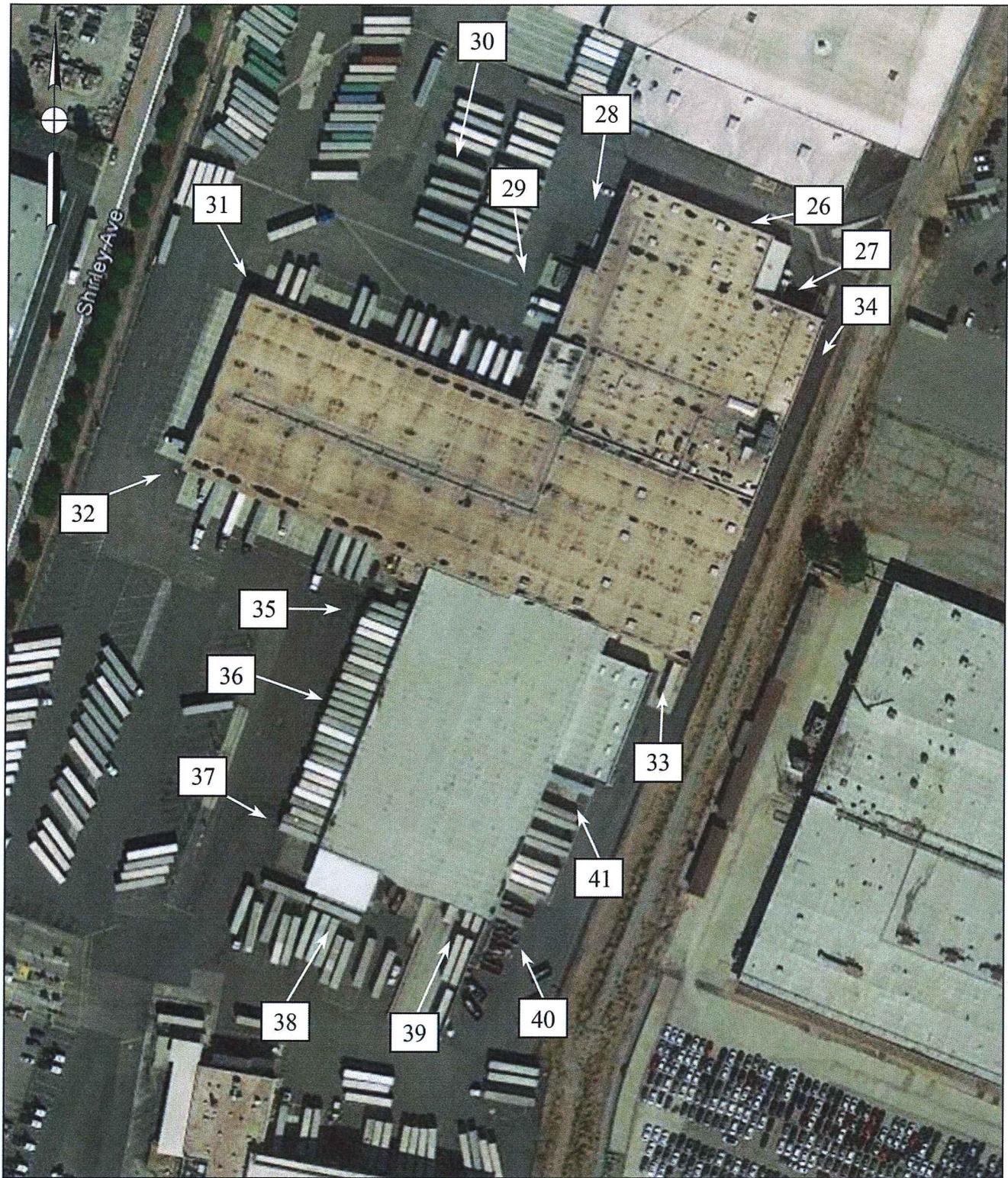


Figure 2
Photographic Key
Building 2
4300 Shirley Avenue





Plate 26

**View of the North Façade of the Original 1962 Delicatessen Kitchen
Warehouse Portion of Building 2, Facing Southwest**

4300 Shirley Avenue



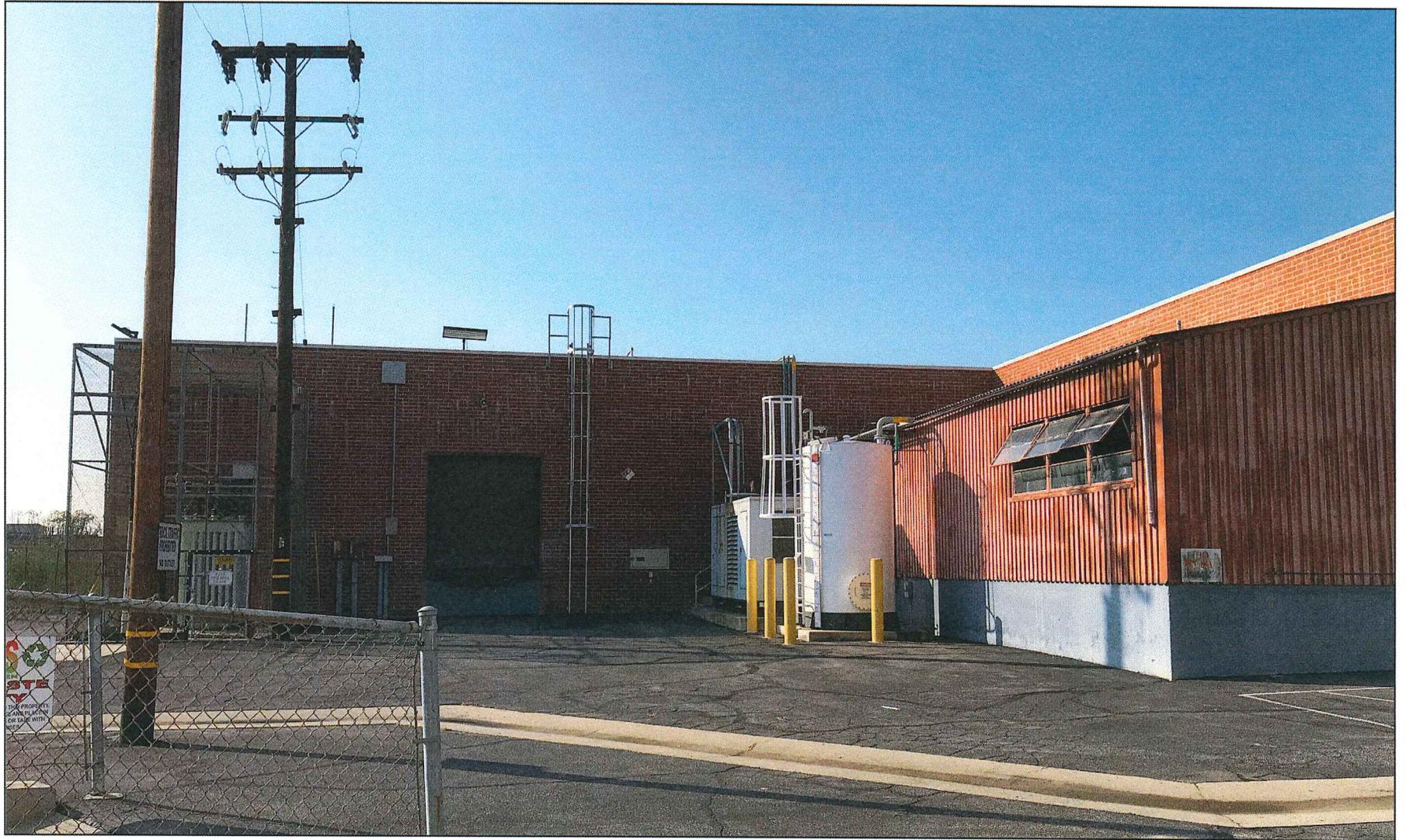


Plate 27

**View of the Northeast Corner of the Original 1962 Delicatessen Kitchen
Warehouse Portion of Building 2, Facing Southwest**

4300 Shirley Avenue





Plate 28

View of the West Façade of the Original 1962 Delicatessen Kitchen Warehouse (Left) and the North Façade of the Original 1962 Produce Dock (Right) Portions of Building 2, Facing South

4300 Shirley Avenue





Plate 29

View of the West Façade of the Original 1962 Delicatessen Kitchen Warehouse (Left) and the North Façade of the Original 1962 Produce Dock (Right) Portions of Building 2, Facing Southeast

4300 Shirley Avenue





Plate 30

**View of the North Façade of the Original 1962 Produce
Dock Portion of Building 2, Facing South**

4300 Shirley Avenue





Plate 31

**View of the Northwest Corner of the Original 1962 Produce
Dock Portion of Building 2, Facing Southeast**

4300 Shirley Avenue





Plate 32

**View of the Southwest Corner of the Original 1962 Produce
Dock Portion of Building 2, Facing Northeast**

4300 Shirley Avenue





Plate 33

**View of the Southeast Corner of the Original 1962 Produce
Dock Portion of Building 2, Facing North**

4300 Shirley Avenue





Plate 34

**View of the East Façade of the Original 1962 Produce
Dock Portion of Building 2, Facing Southwest**

4300 Shirley Avenue





Plate 35

**View of the Left Side of the West Façade of the
1976 Addition of Building 2, Facing East**

4300 Shirley Avenue





Plate 36

**View of the Middle of the West Façade of the
1976 Addition of Building 2, Facing East**

4300 Shirley Avenue



Plate 37

**View of the Right Side of the West Façade of the
1976 Addition of Building 2, Facing Southeast**

4300 Shirley Avenue





Plate 38

View of the South Façade of the 1976 Addition of Building 2, Facing Northeast

4300 Shirley Avenue





Plate 39

**View of the “Deli Warehouse” on the South Façade of the
1976 Addition of Building 2, Facing North**

4300 Shirley Avenue



The roof on the south façade is flat and wood-framed with plywood sheathing (see Plate 38). The walls of the first floor of the “deli warehouse” are clad in corrugated metal. The subterranean level of the “deli warehouse” on the southeast corner is comprised of cast-in-place concrete and concrete block retaining walls with a concrete slab roof, which is supported by concrete beams and columns and framed with structural steel with metal decking (see Plate 39). Exterior doors are comprised of hollow or insulated metal with glass inserts and wood or steel framing. The concrete block wall at the southeast corner of the building is part of the overall foundation system (Plate 40).

Between 1980 and 1994, a 55-by-125-foot battery charging room was constructed on the east façade of the 1976 addition. The walls of the battery charging room are painted corrugated metal with a rectangular hole, which likely housed a window, on the south façade (Plate 41).

Building 3

Building 3 was constructed in 1968 at the southwest corner of the property as a truck service building. Building 3 was not constructed in any specific style and can be classified as a utilitarian, industrial structure. No building permits could be located for Building 3; however, it is not present in aerial photographs in 1964 but is present in its current location by 1972. In addition, a fire suppression system diagram generated by the Los Angeles County Fire Department, which is in charge of conducting building fire safety inspections, lists the construction date for Building 3 as 1968. The building has operated as a truck servicing facility since its construction.

Building 3 was originally rectangular in shape, constructed with a flat roof, a wood and steel frame, and corrugated metal siding. There are eight vehicle bays on the east façade (Plate 42) and eight vehicle bays on the west façade (Plates 43 and 44), which were designed for trucks to drive through from one side to the other. Seven of these bays currently have roll-top doors. One bay on the west façade (see Plate 44) no longer connects to the east façade because the original opening has been closed off with newer corrugated metal sheeting and a small entry door and metal canopy porch have been added (Plate 45). The only windows on the original 1968 portion of Building 3 are two small, aluminum-framed sliders on the east façade (Plate 46). Doors located on the original 1968 portion of the building are made from hollow-core metal. A likely original, metal canopy roof is located on the south façade of the building (see Plate 46).

In 1982, a 696-square-foot office space addition was constructed onto the north façade of Building 3 (see Plates 45 and 47). The architect for the 1982 addition was Gerald Munier and the contractor was Jack Malar, Inc. In 1985, a 900-square-foot addition was constructed onto the north façade of the 1982 addition. The architect for the 1985 addition was also Gerald Munier, with contractor Alcion, Inc. (see Plates 45, 47, and 48). The 1980s additions exhibit a flat roof and corrugated metal cladding like the original 1968 portion of the building, but with different materials. The 1980s additions also exhibit aluminum-framed, metal, sliding windows and hollow-core metal doors.

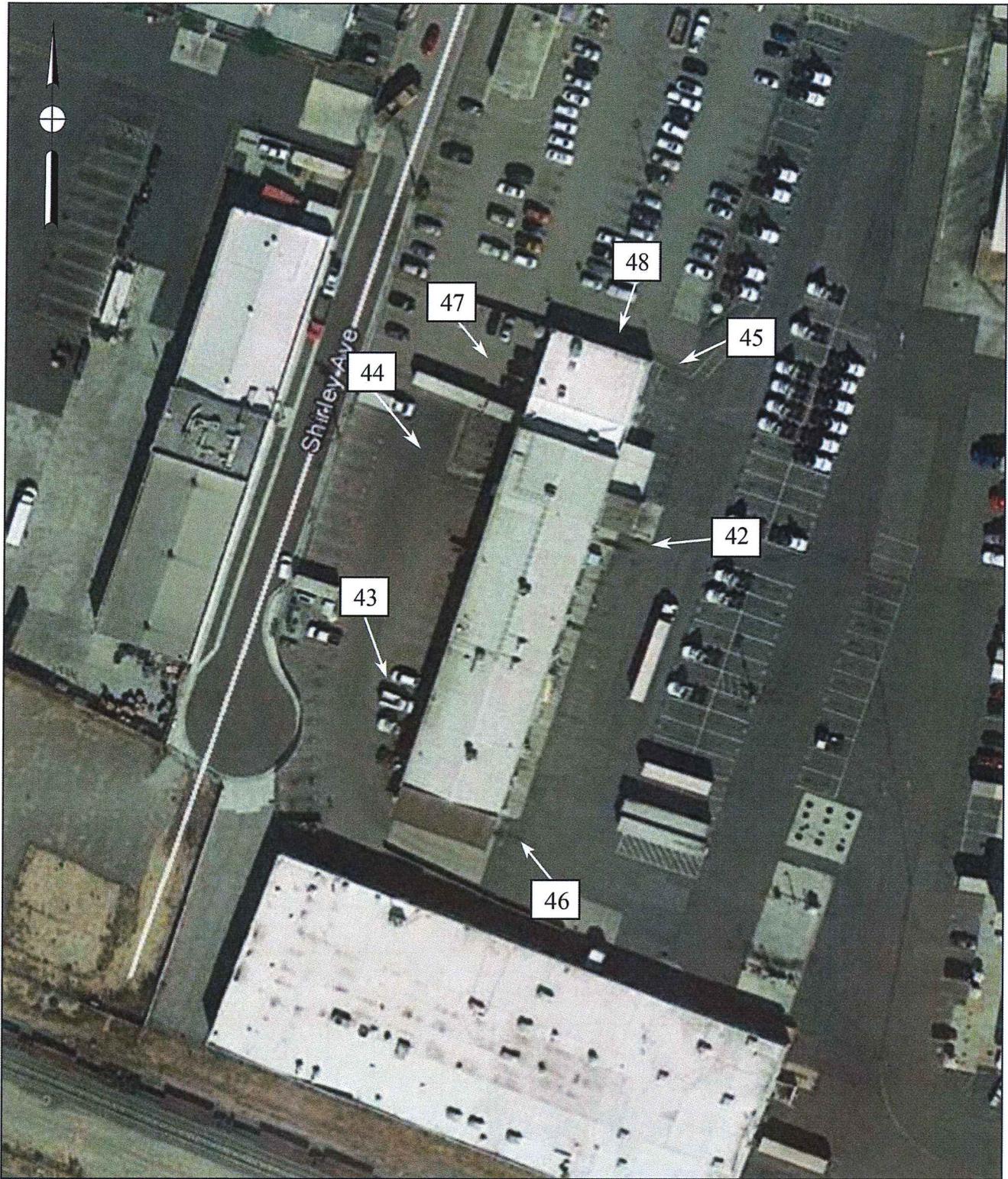


Figure 3
Photographic Key
Building 3
4300 Shirley Avenue





Plate 40

View of the Southeast Corner of the 1976 Addition of Building 2, Facing Northwest

4300 Shirley Avenue





Plate 41

**View of the 1980 to 1994 Battery Charging Room on the East Façade
of the 1976 Addition of Building 2, Facing North**

4300 Shirley Avenue





Plate 42

View of the East Façade of Building 3, Facing Southwest

4300 Shirley Avenue





Plate 43

View of the West Façade of Building 3, Facing Southeast

4300 Shirley Avenue





Plate 44

View of the West Façade of Building 3, Facing East

4300 Shirley Avenue





Plate 45

View of the Northeast Corner of Building 3 Showing the Vehicle Bay Alterations on the Original 1968 Portion (Left), the 1982 Addition (Center), and the 1985 Addition (Right), Facing West

4300 Shirley Avenue





Plate 46

View of the Southeast Corner of Building 3, Facing Northwest

4300 Shirley Avenue



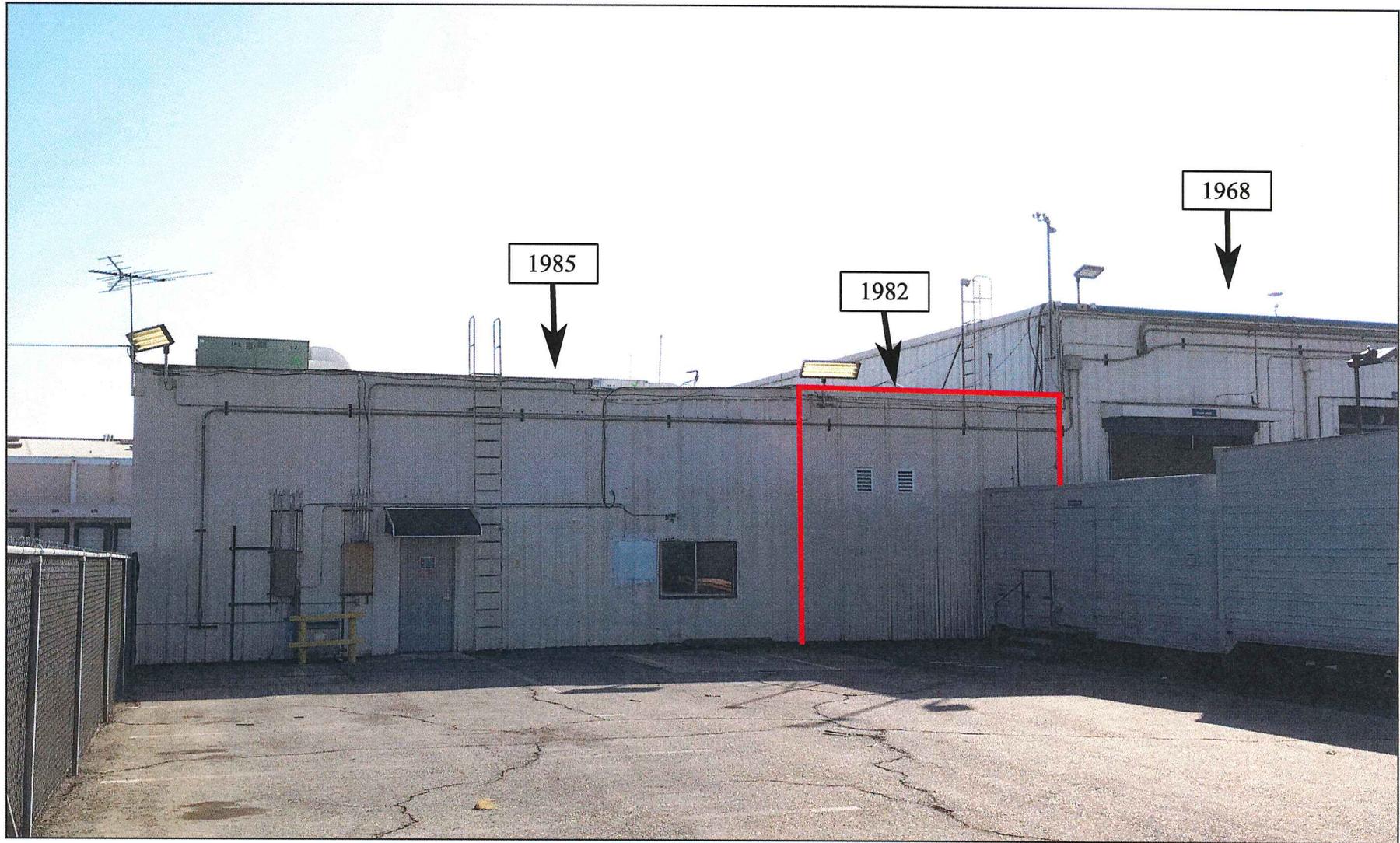


Plate 47

**View of the West Façade of Building 3 Showing the 1985 Addition (Left),
the 1982 Addition (Center), and the Original 1968 Portion (Right), Facing East**

4300 Shirley Avenue





Plate 48

View of the North Façade of the 1985 Addition of Building 3, Facing South

4300 Shirley Avenue



Building 4

Building 4 was constructed in 1976, and therefore, does not meet the minimum age threshold to be considered a historic building, as defined by CEQA guidelines. Building 4 is a two-story, 38,400-square-foot service facility that was constructed by Ernest Hahn and designed by Gaylord & Associates in a late variation of the Mid-Century Modern architectural style. The building exhibits concrete block walls with minimal architectural detailing. The concrete block walls extend past the flat roof and create a parapet wall.

The west façade features two panels of three-pane, floor-to-ceiling, aluminum-framed, tinted-glass windows on the first floor, which are set underneath two panels of large, multi-pane, tinted-glass windows on the second floor, both of which are set inside painted metal framing (Plate 49). Between the first- and second-story windows is an opaque panel that matches the tinted window panes but is intended to create the illusion that the windows extend from ground level to the roof without a break. The concrete blocks on either side of the windows are perpendicular to the exterior wall, which creates a vertical accent around the window panels. The main entrance to the building is located on the west façade, just north of the northernmost window panel. The entrance door is comprised of aluminum-framed, full-length glass, which is bound on the north by another concrete block accent (see Plate 49).

The eastern side of the north façade of Building 4 features one row of second-story, aluminum-framed, sliding windows (Plate 50). The western side of the north façade features two small, aluminum-framed, sliding windows on both the first and second stories (Plate 51). Across the rest of the north façade are: one additional multi-pane, aluminum-framed, sliding window; six metal, hollow-core entry doors; one set of metal, hollow-core double doors; and two different-sized, roll-top dock doors (see Plates 50 through 52).

The east façade features two different-sized loading bays with metal roll-top doors and dock levelers, as well as two metal, hollow-core entry doors. Steps leading to the doors are constructed of concrete block and exhibit metal railings (Plate 53). The south façade is an unadorned, concrete block wall (Plate 54).



Figure 4
Photographic Key
Building 4
4300 Shirley Avenue





Plate 49

View of the West Façade of Building 4, Facing Southeast

4300 Shirley Avenue

(Photograph Courtesy of Google Street View 2015)





Plate 50

View of the Eastern Side of the North Façade of Building 4, Facing Southwest

4300 Shirley Avenue





Plate 51

View of the Western Side of the North Façade of Building 4, Facing South

4300 Shirley Avenue





Plate 52

View of the Center of the North Façade of Building 4, Facing South

4300 Shirley Avenue





Plate 53

View of the East Façade of Building 4, Facing West

4300 Shirley Avenue



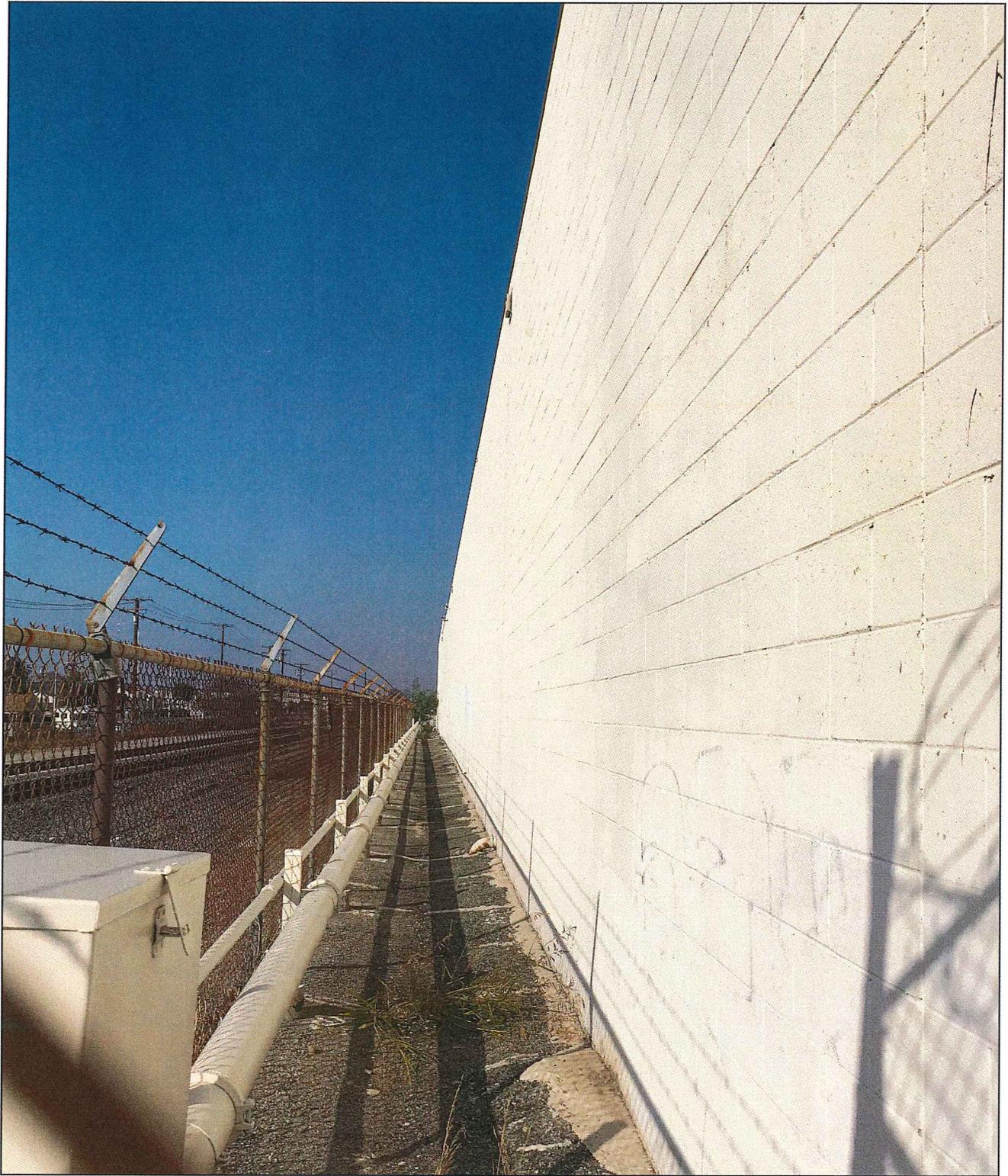


Plate 54

View of the South Façade of Building 4, Facing West

4300 Shirley Avenue

Building 5

Building 5 was constructed in two sections, in August and December of 1976, and therefore, does not meet the minimum age threshold to be considered a historic building, as defined by CEQA guidelines. The building was designed as a meat service center by engineering firm Donald R. Warren Co. and constructed by Ernest Hahn. The southern section exhibits very little architectural detailing, with the exception of the west façade, which exhibits Streamline Moderne and Mid-Century Modern influences. The Streamline Moderne elements can be seen in the rounded, white stucco, exterior walls that flank the Mid-Century Modern-inspired, floor-to-ceiling windows on the second floor above the six central loading bays (Plate 55). Aluminum-framed, double glass main entry doors, which are set within floor-to-ceiling windows, are located on the west façade of the southern section of the building, just north of a rounded accent wall (see Plate 55). A cantilevered “eyebrow overhang” extends the length of the entire west façade of Building 5, just above the loading bays (Plate 56).

The south façade of Building 5 is comprised of poured concrete exterior walls covered in stucco and evenly-spaced, vertical, floor-to-ceiling, concrete accent beams, which match those on the northern portion of the building (Plate 57). Two projecting loading bays are located at the southeast corner of the building, with a concrete block addition located immediately west (Plate 58). A set of double metal hollow-core doors is present on the addition and the loading bays exhibit metal roll-top doors. The east façade of the building exhibits the same poured concrete exterior walls covered in stucco and vertical, floor-to-ceiling, concrete accent beams as the south façade, as well as two metal, hollow-core entry doors with glass inserts, both of which are accessible via concrete block steps (Plate 59).

The northern portion of the building is over two stories tall with a gabled roof covered in rolled roofing. The west façade consists of warehouse space with poured concrete exterior walls covered in stucco, loading bays with roll-top doors, and evenly-spaced, vertical, floor-to-ceiling, concrete accent beams, which match those on the southern portion of the building (Plate 60). An additional loading area is located on the northwest corner of the building. This smaller, one-story, almost separate, structure is made of poured concrete and stucco with a flat roof and a metal canopy, which extends over a concrete loading dock on the west façade (Plate 61). One set of metal, hollow-core entry doors and one additional metal, hollow-core entry door are located on the east façade of the loading area structure (Plate 62).

The north façade of Building 5 is comprised of poured concrete exterior walls covered in stucco and evenly-spaced, vertical, floor-to-ceiling, concrete accent beams, which match those on the west, south, and east façades of the building (see Plate 62). One metal, hollow-core entry door, which is accessed via concrete block steps, and three loading bays with sectional sliding doors are also located on the north façade.



Figure 5
Photographic Key
Building 5
4300 Shirley Avenue





Plate 55

View of the West Façade of the Southern Section of Building 5, Facing East

4300 Shirley Avenue



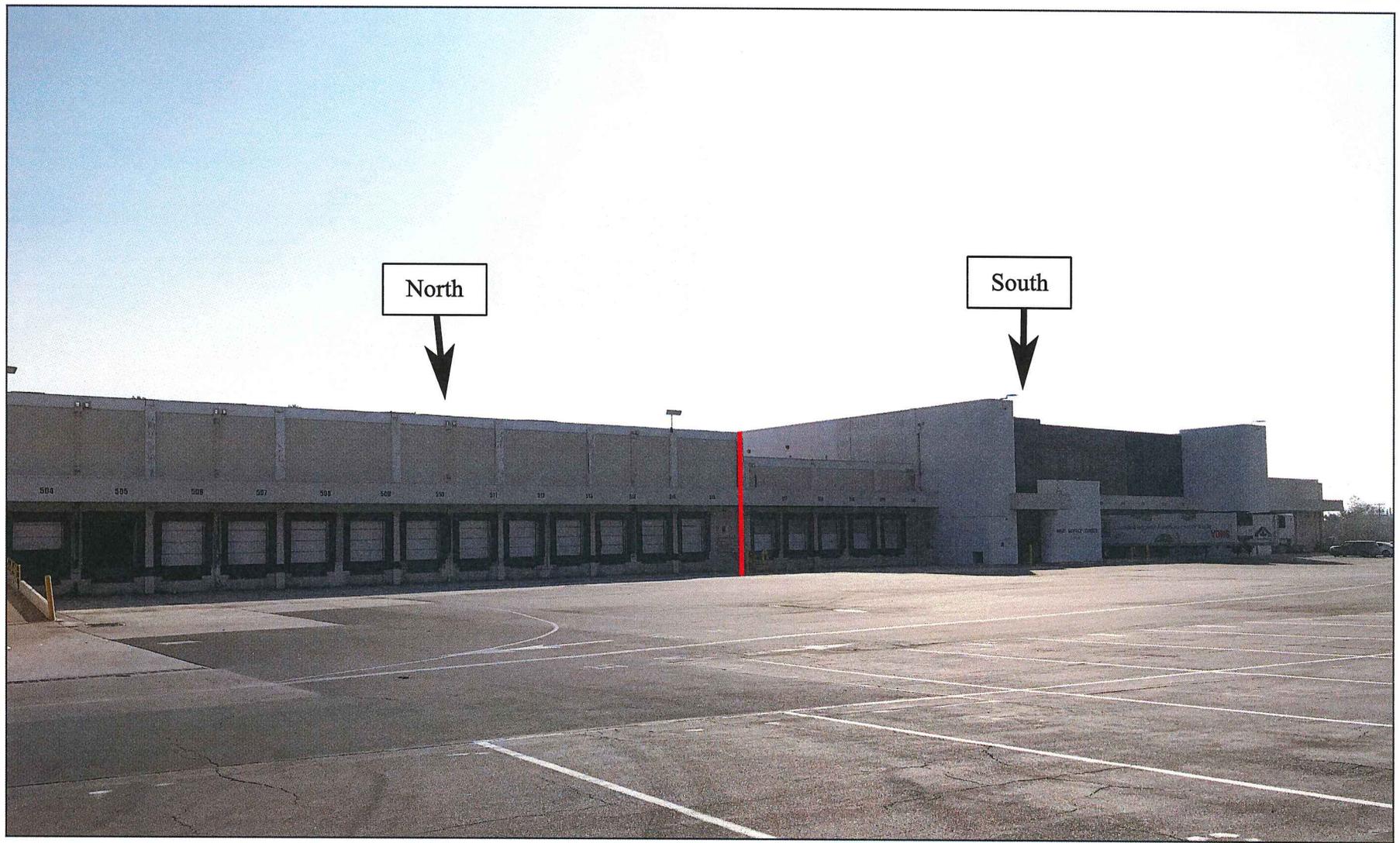


Plate 56

View of the West Façade of the Northern (Left) and Southern (Right) Sections of Building 5, Facing Southeast

4300 Shirley Avenue





Plate 57

View of the South Façade of Building 5, Facing Northwest

4300 Shirley Avenue





Plate 58

View of the South Façade of Building 5, Facing North

4300 Shirley Avenue





Plate 59

View of the East Façade of Building 5, Facing Southwest

4300 Shirley Avenue



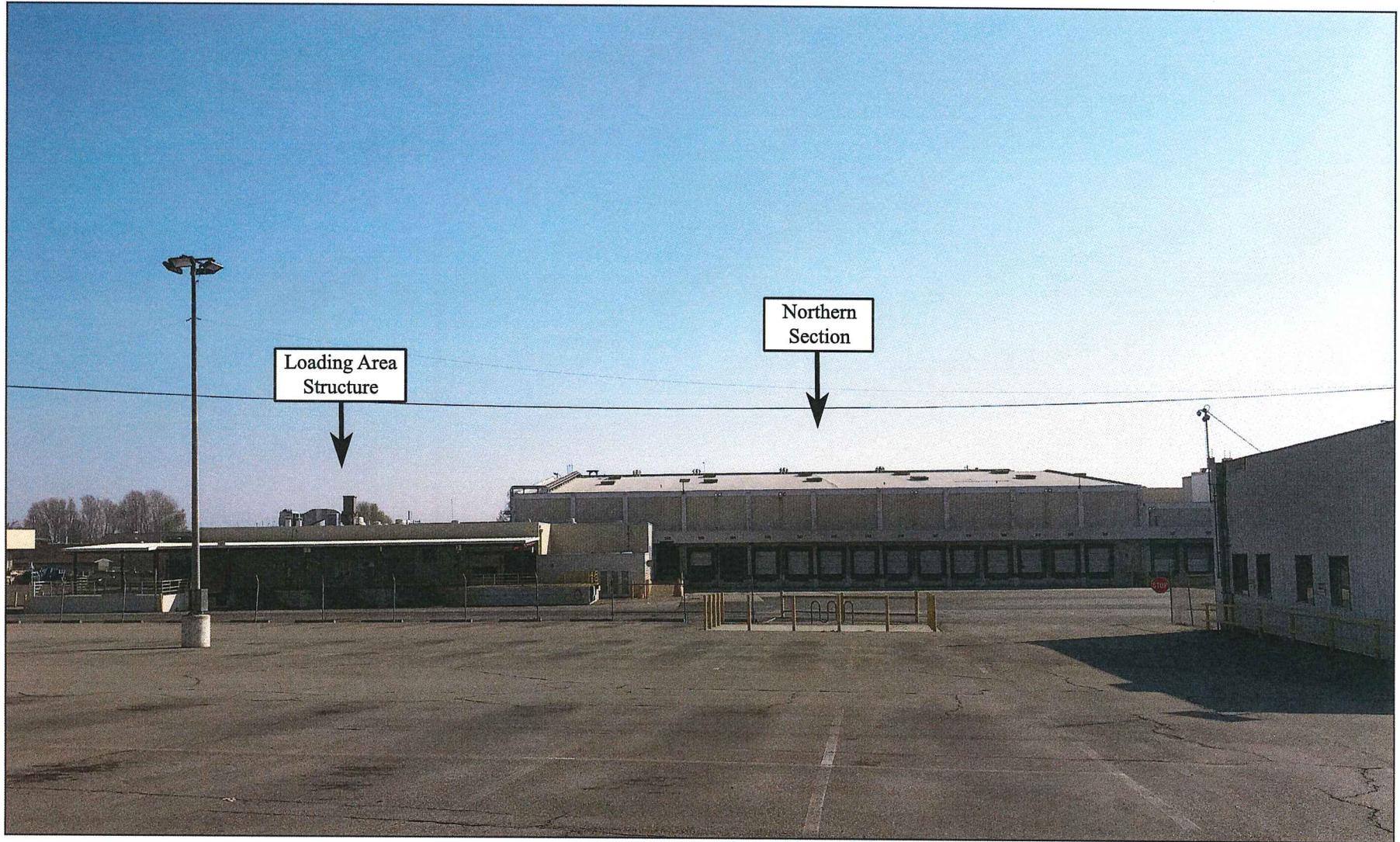


Plate 60

View of the West Façade of Building 5 Showing the Loading Area Structure (Left) and the Northern Section (Right), Facing East

4300 Shirley Avenue





Plate 61

View of the Northwest Corner of Building 5, Facing South

4300 Shirley Avenue





Plate 62

**View of the North Façade of Building 5 (Left) and the East Façade
of the Loading Area Structure (Right), Facing Southwest**

4300 Shirley Avenue



V. SIGNIFICANCE EVALUATIONS

When evaluating a historic resource, integrity is the authenticity of the resource's physical identity clearly indicated by the retention of characteristics that existed during its period of significance. It is important to note that integrity is not the same as condition. Integrity directly relates to the presence or absence of historic materials and character-defining features, while condition relates to the relative state of physical deterioration of the resource. In most instances, integrity is more relevant to the significance of a resource than condition; however, if a resource is in such poor condition that original materials and features may no longer be salvageable, then the resource's integrity may be adversely impacted. The seven aspects of integrity used in evaluating a historic resource are:

1. **Location** is the place where a resource was constructed or where an event occurred.
2. **Design** results from intentional decisions made during the conception and planning of a resource. Design includes form, plan, space, structure, and style of a property.
3. **Setting** applies to a physical environment, the character of a resource's location, and a resource's relationship to the surrounding area.
4. **Materials** comprise the physical elements combined or deposited in a particular pattern or configuration to form a property.
5. **Workmanship** consists of the physical evidence of crafts employed by a particular culture, people, or artisan, which includes traditional, vernacular, and high styles.
6. **Feeling** relies upon present physical features of a property to convey and evoke an aesthetic or historic sense of past time and place.
7. **Association** directly links a property with a historic event, activity, or person of past time and place, and requires the presence of physical features to convey the property's character.

In order to assess each aspect of integrity when evaluating the VEMDC buildings, the following steps were taken, as recommended in the *National Register Bulletin: How to Apply the National Register Criteria for Evaluation* (Andrus and Shrimpton 2002). This review is based upon the evaluation of integrity of the buildings followed by the assessment of distinctive characteristics.

1. **Integrity of Location** *[refers to] the place where the historic property was constructed or the place where the historic event occurred* (Andrus and Shrimpton 2002). Integrity of location was assessed by reviewing historic records and aerial photographs in order to determine if the VEMDC buildings had always existed at their present locations or if they had been moved or rebuilt. Historical research revealed that the VEMDC buildings have not been moved or rebuilt since their construction in 1957 (Building 1), 1962 (Building 2), 1968 (Building 3), and 1976 (Buildings 4 and 5); therefore, all five buildings, and the VEMDC overall, retain integrity of location.

2. **Integrity of Design** *[refers to] the combination of elements that create the form, plan, space, structure, and style of a property* (Andrus and Shrimpton 2002). Integrity of design was assessed by evaluating the spatial arrangement of the buildings and any architectural features present.
 - a. **Building 1:** The office portion of Building 1 was designed in the Mid-Century Modern architectural style with International-style influences. The warehouse portion can best be described as an industrial brick masonry building with no specific architectural style. Originally designed by H.W. Underhill in 1957, the office portion of the building acted as the primary façade of Building 1 until its removal in 2011. The elimination of the Mid-Century Modern- and International-style elements of Building 1 present in the office negatively impacted the original design of the building, including its original form, plan, space, structure, and style. Character-defining features of the two styles that were removed include the ribbons of horizontal windows, the flat roof, the shadow block accent wall (pylon), and the simple geometric form (Historic Resources Group 2007).

The warehouse portion of Building 1 was expanded several times between 1960 and 1981. The 1960 addition utilized the same materials and building methods as the original 1957 portion, but the 1967 and 1980 additions introduced new methods of construction and Brutalist-style architectural elements. These differences in method and style can be seen in the large expanses of exposed concrete wall, which feature evenly-spaced, repetitive, vertical grooves across each façade. While the warehouse portion of the building still served its original purpose as a grocery warehouse during this time, the modifications increased the overall size of the building to nearly three times that of its original design. Therefore, Building 1 does not retain integrity of design.

- b. **Building 2:** Building 2 was originally designed by A.C. Martin in 1962 as a Mid-Century Modern industrial building with International-style influences. When constructed, the building functioned as a delicatessen kitchen and produce dock. Mid-Century Modern- and International-style elements are only present on the north and west façades of Building 2, including ribbons of horizontal windows, cantilevered overhangs, a flat roof, an absence of exterior decoration, and the use of geometric forms (Historic Resources Group 2007).

When originally designed, the entire south façade consisted of enclosed loading bays. In 1976, an open-air loading dock was constructed on the eastern half of the south façade, which removed the enclosed loading bays. Another addition was constructed onto the eastern façade of the 1976 addition between 1980 and 1994. This addition consists of an enclosed battery charging room, which blocked off an additional loading bay on the original south façade. Although the south façade did not possess any features characteristic of the Mid-Century Modern or International styles, the 1976 addition increased the square footage of the building from 161,000 square feet to over 225,000 square feet. The addition also introduced concrete block and poured concrete walls to the wood-framed and brick masonry building. Therefore, the additions negatively impacted the original form, plan, space, and structure of the overall building, and Building 2 does not retain integrity of design.

- c. **Building 3:** Building 3 was originally constructed in 1968 as a simple, rectangular, utilitarian truck service building with wood framing and corrugated metal walls. The building was not designed in any specific architectural style. In 1982, a 692-square-foot office addition was built onto the north façade of the building. It is also likely that at this time, the opening on the east façade of the northernmost bay was enclosed and a small entry door and metal canopy were added. In 1985, the north façade was expanded to include an additional 900 square feet of office space, which was constructed onto the 1982 addition. Although the additions total less than half of the original square footage of Building 3, they negatively impacted its original form, plan, space, and structure. Therefore, Building 3 does not retain integrity of design.
- d. **Building 4:** Building 4 was designed in 1976 by Gaylord & Associates as a utilitarian service building with Mid-Century Modern influences. No known exterior modifications have been made to the building that would have

impacted the original design. Therefore Building 4 retains integrity of design.

- e. ***Building 5:*** Building 5 was designed in 1976 by Donald R. Warren Co. as a utilitarian meat service building with Mid-Century Modern and Streamline Moderne influences. The building was constructed in two sections that, although finished at different times, were designed and assembled as a single structure. No known exterior modifications have been made to the building that would have impacted the original design. Therefore, Building 5 retains integrity of design.

Because only two out of the five buildings retain integrity of design, the VEMDC overall does not retain integrity of design.

3. **Integrity of Setting** *[refers to] the physical environment of a historic property. Setting includes elements such as topographic features, open space, viewshed, landscape, vegetation, and artificial features (Andrus and Shrimpton 2002).* The VEMDC property and surrounding area has changed substantially since the construction of Building 1 in 1957. At that time, Building 1 was one of four buildings that made up the Shopping Bag Food Stores corporate headquarters, including: an office and warehouse building (Building 1), a bakery, a maintenance building, and a truck service building. Surrounding the VEMDC property was the Gidley School to the east, vacant land to the south, and residential development to the north and west.

The setting of the property was altered in 1960 and 1962 with the construction of an addition onto the south façade of Building 1, which encroached into the vacant land to the south, and the construction of Building 2, respectively. Also around this time, commercial and industrial buildings were being constructed to the east and west of the property, which replaced previously vacant areas and older residential development. Vacant space within the property was further impacted with the construction of the 1967 addition to Building 1, the 1968 construction of Building 3, and the 1976 construction of Buildings 4 and 5 and the addition to Building 2. By 1976, the areas to the east and west of the property were almost entirely commercial. The only major change to the VEMDC property after 1976 was the removal of the original bakery building in 2010 and the removal of the office portion of Building 1 in 2011.

Given the square footage involved, the construction and/or removal of buildings and additions from 1960 to 2011 substantially altered the overall character of the VEMDC

property. The modifications made to the areas immediately surrounding the property also affected the topographic features, open space, and artificial features that were originally present. Therefore, the buildings, and the VEMDC overall, do not retain integrity of setting.

4. **Integrity of Materials** *[refers to] the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property* (Andrus and Shrimpton 2002). Integrity of materials was assessed by determining the presence or absence of original building materials, as well as the possible introduction of materials that may have altered the architectural design of the buildings.
 - a. **Building 1:** Building 1 was originally constructed with exterior walls made of brick masonry, concrete block, and stucco. The north façade of the building also featured aluminum-framed, floor-to-ceiling windows and horizontal bands of aluminum-framed windows. The 1960 addition on the south façade utilized the same brick masonry as the 1957 portion of the building; however, the 1967 and 1980 additions were primarily constructed of poured concrete. The use of poured concrete as exterior cladding was not widespread until the mid- to late 1960s, with the emergence of the Brutalist architectural style (Historic Resources Group 2007). With the 1969 and 1981 additions, non-original metal wall and roofing materials were added to the building. The introduction of newer materials in the 1967, 1969, 1980, and 1981 additions, as well as the removal of the concrete block and stucco office portion of the building in 2011, negatively impacted the Building 1's integrity of materials and altered its original architectural design. Therefore, Building 1 does not retain integrity of materials.
 - b. **Building 2:** Building 2 was originally constructed with exterior walls made of brick masonry, concrete block, stucco, and corrugated metal siding. The 1976 addition, however, introduced poured concrete walls and metal canopies. The 1980 to 1994 addition also introduced newer corrugated metal wall cladding. Neither of the additions utilized similar building materials to those seen on the original building. The use of poured concrete exterior walls in the subterranean portion of the 1976 addition also introduced elements of the Brutalist architectural style, which differs from the Mid-Century Modern- and International-style original building. Therefore, Building 2 does not retain integrity of materials.

- c. **Building 3:** Building 3 was originally constructed using wood and metal framing and corrugated metal siding. The 1982 addition also utilized corrugated metal siding, but also introduced a metal canopy and new doors and windows. At that time, one original roll-top door was removed from the east façade of the northern end of the building and replaced with a panel of newer metal siding. The 1985 addition also utilized corrugated metal siding. Both additions introduced new materials that are also similar to those used in the construction of the original building. In addition, because Building 3 was not designed in any specific architectural style, the modifications did not alter or otherwise impact the original characteristic features. Therefore, Building 3 retains integrity of materials.
- d. **Building 4:** Building 4 was originally constructed using concrete block exterior walls and aluminum-framed windows. No substantial modifications were made to the building that introduced new materials or removed original materials. Therefore, Building 4 retains integrity of materials.
- e. **Building 5:** Building 5 was original constructed using poured concrete, concrete block, stucco, and corrugated metal as exterior wall cladding. No substantial modifications were made to the building that introduced new materials or removed original materials. Therefore, Building 5 retains integrity of materials.

Because only three out of the five buildings retain integrity of materials, the VEMDC overall does not retain integrity of materials.

- 5. **Integrity of Workmanship** [*refers to*] *the physical evidence of the labor and skill of a particular culture or people during any given period in history* (Andrus and Shrimpton 2002). Integrity of workmanship was assessed by evaluating the quality of the architectural features present in the buildings.

- a. **Building 1:** The workmanship demonstrated in the construction of the original 1957 portions of Building 1 has only been partially retained. While the original brick warehouse remains, the attached concrete block and stucco office building, which possessed a majority of the Mid-Century Modern and International character-defining features, has been removed. The 1960 addition also remains and was constructed using brick masonry. Even so, the methods used in laying brick and concrete block, and those used in the application of stucco, are not unique to any specific time period. The 1967

and 1980 additions, however, were constructed using poured concrete rather than concrete block and stucco or brick masonry. The use of poured concrete as a building finish was not generally used until the 1960s, when the Brutalist style became more popular. The 1967 and 1980 additions, therefore, introduced a method of construction that was not generally used until after the original 1957 date of construction. The 1969 and 1981 additions introduced cheap, expedient metal wall and roofing materials, generally used for their utilitarian purposes, which reflect a lower level of workmanship. Regardless, neither the initial construction nor the subsequent modifications are representative of the labor and skill of a particular culture of people during their period(s) of construction. Therefore, Building 1 does not retain integrity of workmanship.

- b. **Building 2:** All workmanship demonstrated in the concrete block and stucco construction of Building 2 is still visible on the original 1962 portions of the building. While no other façades have been modified, the southeastern façade was closed off by the 1976 open-air loading dock addition. The 1976 addition introduced poured concrete and simple canopy framing, both of which differ from the methods used in the original construction. The use of poured concrete as a building finish was generally not used until the 1960s, when the Brutalist style became more popular. Although the original building was constructed in 1962 and the poured concrete addition did not introduce methods from a different period in history, the construction methods used still differ from that of the original building. Further, neither the initial construction nor the subsequent modifications are representative of the labor and skill of a particular culture of people during their period(s) of construction. Therefore, Building 2 does not retain integrity of workmanship.
- c. **Building 3:** The workmanship demonstrated in the original 1968 construction of Building 3 appears to have been average, with no outward expression of skill or specific construction methods. The wood and metal framing and corrugated metal siding are simplistic and utilitarian in nature and do not reflect any specific period in history. The additions constructed onto the building in 1982 and 1985 express the same level of workmanship. However, neither the initial construction nor the subsequent modifications are representative of the labor and skill of a particular culture of people during their period(s) of construction. Therefore, Building 3 does not retain integrity of workmanship.

- d. **Building 4:** The workmanship demonstrated in the original 1976 construction of Building 4 appears to have been average and has been sufficiently maintained. No modifications have been made to the building that may have affected the original workmanship or introduced different levels of workmanship. However, the construction methods used to lay the concrete block exterior walls are not unique to any specific period in history. In addition, the construction is not representative of the labor and skill of a particular culture or people during the 1970s. Therefore, Building 4 never possessed integrity of workmanship.
- e. **Building 5:** The workmanship demonstrated in the original 1976 construction of Building 5 appears to have been average and has been sufficiently maintained. No modifications have been made to the building that may have affected the original workmanship or introduced different levels of workmanship. The construction methods used to build the exterior poured concrete walls were commonly used in the 1960s. However, the construction itself is not representative of the labor and skill of a particular culture or people during the 1970s. Therefore, Building 5 never possessed integrity of workmanship.

Because none of the buildings are representative of the labor and skill of a particular culture or people during their period(s) of construction (1957 to 1976), the VEMDC overall does not possess integrity of workmanship.

- 6. **Integrity of Feeling** [*refers to*] a property's expression of the aesthetic or historic sense of a particular period of time (Andrus and Shrimpton 2002). Integrity of feeling was assessed by evaluating whether or not the resources' features, in combination with their setting, conveyed a historic sense of the property during the period(s) of construction.
 - a. **Building 1:** Building permits indicate that Building 1 was constructed as a warehouse and office building in 1957. Subsequent additions were constructed onto the south façade in 1960, 1967, and 1980, and onto the west façade in 1969 and 1981. In 2011, the original 1957 office, which served as the primary façade of the building, was removed. All of the modifications made to Building 1 after its construction affected the original elements that expressed a historic sense of the period of its construction, thereby negatively impacting its integrity of feeling. In addition, the changes made to the surrounding area, including the construction and removal of other buildings

within the VEMDC property, also negatively impacted Building 1's integrity of feeling. Due to the modifications made to Building 1 since 1957 and the overall loss of setting, Building 1 does not retain integrity of feeling.

- b. **Building 2:** Building permits indicate that Building 2 was constructed as a perishable warehouse and delicatessen kitchen in 1962. Additions were constructed onto the south façade of the building in 1976 and between 1980 and 1994. The modifications made to Building 2 after its construction affected the original elements that expressed a historic sense of its period of construction, thereby negatively impacting its integrity of feeling. In addition, changes made to the surrounding area, including the construction and removal of other buildings within the VEMDC property, also negatively impacted Building 2's integrity of feeling. Due to the modifications made to Building 2 since 1962 and the overall loss of setting, Building 2 does not retain integrity of feeling.
- c. **Building 3:** Building permits indicate that Building 3 was constructed as a truck service building in 1968. Additions were constructed onto the north façade of the building in 1982 and 1985. The modifications made to Building 3 after its construction affected the original elements that expressed a historic sense of its period of construction, thereby negatively impacting its integrity of feeling. In addition, changes made to the surrounding area, including the construction and removal of other buildings within the VEMDC property, also negatively impacted Building 3's integrity of feeling. Due to the modifications made to Building 3 since 1968 and the overall loss of setting, Building 3 does not retain integrity of feeling.
- d. **Building 4:** Building permits indicate that Building 4 was constructed in 1976 as a service facility. While no substantial modifications have been made to the exterior of the building since its construction, the surrounding area and other buildings within the VEMDC property have undergone changes since that time, negatively impacting Building 4's integrity of feeling. Due to the overall loss of setting, Building 4 does not retain integrity of feeling.
- e. **Building 5:** Building permits indicate that Building 5 was constructed in 1976 as a meat service center. While no substantial modifications have been made to the exterior of the building since its construction, the surrounding area and other buildings within the VEMDC property have undergone changes since that time, negatively impacting Building 5's integrity of feeling. Due to

the overall loss of setting, Building 5 does not retain integrity of feeling.

Because none of the buildings retain integrity of feeling, the VEMDC overall does not retain integrity of feeling.

7. **Integrity of Association** [*refers to*] the direct link between an important historic event or person and a historic property (Andrus and Shrimpton 2002). Integrity of association was assessed by evaluating the resources' data or information and their ability to answer any research questions relevant to the history of the city of El Monte or the state of California.

The VEMDC was not the first location used by Shopping Bag Food Stores as their corporate office, warehouse, kitchen, or distribution facilities. The first Shopping Bag Food Stores corporate office and large-scale warehouse and distribution center was constructed between 1948 and 1952 at 2716 San Fernando Road in Los Angeles. After the Shopping Bag Food Stores merged with Vons in 1960, Building 1 was utilized as the Vons corporate offices. However, the VEMDC was also not the first location used by Vons as their corporate office, warehouse, kitchen, or distribution facilities; the first facility utilized by Vons was constructed at 2700 South Garfield Avenue in Los Angeles in 1956. Even as the VEMDC expanded over the years, the facility was not unique in its design or function and is not reflective of any important historic events. In addition, neither W.R. Hayden nor Charles Von der Ahe, the founders of Shopping Bag Food Stores and Vons, respectively, are directly associated with the VEMDC facility. As a result, the VEMDC overall does not possess further information that could answer research questions relevant to the history of the city of El Monte or the state of California. Therefore, the buildings, and the VEMDC overall, do not possess integrity of association.

For a historic building to be identified as architecturally significant, it must meet the criteria of historical and architectural importance *and* retain as much of the original structural and architectural integrity as possible in order to convey those characteristics that would support a finding of significance. Integrity is the authenticity of a historic resource's physical identity, as evidenced by the survival of characteristics or historic fabric that existed during the resource's period of significance. Buildings 1 and 2 and the VEMDC overall were determined to retain only one of the seven categories of integrity (location); Building 3 retains only two (location and materials); and Buildings 4 and 5 retain only three (location, design, and materials). As a whole, however, the original integrity of the VEMDC has been significantly impacted by the modifications made to the five buildings and the property's overall setting since 1957.

CRHR Criteria

The historical assessment of the VEMDC incorporated the CEQA historic resources eligibility criteria found in Public Resources Code Section 5024.1. According to the CRHR, a historic resource must be significant at the local, state, or national level, under one or more of the following criteria:

- **CRHR Criterion 1:**
It is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.
- **CRHR Criterion 2:**
It is associated with the lives of persons important in our past.
- **CRHR Criterion 3:**
It embodies the distinctive characteristics of a type, period, region, or method of construction; represents the work of an important creative individual; or possesses high artistic values.
- **CRHR Criterion 4:**
It has yielded, or may be likely to yield, information important in prehistory or history.

CRHR Evaluation

- **CRHR Criterion 1:**
In order to evaluate the VEMDC under Criterion 1, BFSa followed protocols recommended in the *National Register Bulletin: How to Apply the National Register Criteria for Evaluation* (Andrus and Shrimpton 2002):
 - 1) Identify the event(s) with which the building(s) is associated through the review of the archaeological record, historic records, and oral histories.
 - Historical research conducted for this study confirmed that no single significant event could be definitively associated with the VEMDC buildings. W.R. Hayden and W.D. Rorex originally founded Shopping Bag Food Stores at the corner of Wilshire Boulevard and La Brea Avenue in Los Angeles in 1930. Between 1948 and 1952, the company constructed a warehouse and corporate offices at 7210 San Fernando Road in Los Angeles. In 1957, the company moved the facilities to 4300 Shirley Avenue in El Monte. Building 1 and a

bakery building were constructed at 4300 Shirley Avenue in 1957. Building 1 was then utilized as the Shopping Bag Food Stores corporate offices until the company merged with Vons in 1960, at which point Vons used the building as its corporate offices until 1989. Vons commissioned the construction of four additional buildings on the property, and subsequent modifications to the buildings, between 1960 and 2011.

None of the five individual buildings currently present within the VEMDC are associated with any specific significant events. In addition, although Shopping Bag Food Stores and Vons were major grocery retailers in southern California, the VEMDC is not the first or only location utilized by either company as an office or distribution center, nor is the VEMDC solely representative of the products distributed or sold by either company. Therefore, the buildings and the VEMDC overall are not eligible for designation under Criterion 1.

- **CRHR Criterion 2:**

In order to evaluate the VEMDC under Criterion 2, BFSa took the following steps as recommended by the *National Register Bulletin: How to Apply the National Register Criteria for Evaluation* (Andrus and Shrimpton 2002):

- 1) Identify any important persons associated with the building(s) through the investigation of the archaeological record, historic records, and oral histories.
 - The VEMDC was utilized as the corporate offices for Shopping Bag Food Stores beginning in 1957. W.R. Hayden, one of the original founders of Shopping Bag Food Stores, likely worked in the offices when they first opened. The other founder, W.D. Rorex, retired in 1945 and died of a heart attack in 1953 (*Los Angeles Times* 1955b). Hayden likely continued to work in the offices when he became the vice president of Vons after the merger in 1960. While Hayden was associated with the Building 1 office, no evidence could be found linking him to any of the other buildings within the VEMDC. However, Hayden's association with Building 1 was lost when the office was demolished in 2011. No other significant individuals are known to be associated with any of the VEMDC buildings. Therefore, the buildings and the VEMDC overall are not eligible for designation under Criterion 2.

- **CRHR Criterion 3:**

In order to evaluate the VEMDC under Criterion 3, BFSa took the following steps as recommended by the *National Register Bulletin: How to Apply the National Register Criteria for Evaluation* (Andrus and Shrimpton 2002):

- 1) Identify the distinctive characteristics of the type, period, or method of construction, master or craftsman, or the high artistic value of the building(s). This will be done by examining the pattern of features common to the particular class of resource that the site(s) or feature(s) may embody, the individuality or variation of features that occur within the class, and the evolution of that class, or the transition between the classes of resources.
 - All buildings within the VEMDC were constructed by Ernest Hahn, who was best known for helping to invent the suburban shopping mall. In the 1950s, Hahn founded Ernest W. Hahn, Inc. in Hawthorne, California. By 1980, the company had been renamed Hahn Co. with offices in El Segundo, California. Notable suburban shopping mall centers attributed to Hahn and his company include the Fashion Valley Mall in San Diego, Palm Desert Town Center in Palm Desert, Fox Hills Mall in Culver City, The Oaks in Thousand Oaks, Los Cerritos Center in Los Cerritos, and Horton Plaza in San Diego. Hahn viewed Horton Plaza as his most important contribution to the retail world because it was a redevelopment of a failing urban area (Kraul 1992). None of the buildings constructed within the VEMDC, however, are considered notable works of Ernest Hahn. Most have a more utilitarian function and were not designed or built in a commercial manner to attract customers.
 - The only exception would be Building 1, which was designed by H.W. Underhill of Los Angeles and constructed by Ernest Hahn. Underhill was responsible for designing super markets, including Shopping Bag Food Stores, and other shopping centers (*San Bernardino County Sun* 1956). The Shopping Bag Food Stores designed by Underhill featured the same “familiar pylon” that the office portion of Building 1 possessed, as well as floor-to-ceiling windows, concrete block, and stucco (*Los Angeles Times* 1954; *San Bernardino County Sun* 1955). However, due to the removal of the office portion of Building 1 in 2011, the building is no longer recognizable as one of Underhill’s Mid-Century Modern super market designs. Therefore Building 1 is

not individually eligible for designation under Criterion 3.

- Building 2 was designed in 1962 by A.C. Martin. During the 1950s, the firm was best known for their design of the Lakewood Center shopping mall. In the 1960s, the firm focused more upon suburban corporate campuses and large urban buildings. Most of their designs from the 1950s and into the 1970s were large and commanding structures, utilizing Mid-Century Modern (Lakewood Center and Rose Hills Memorial Park Chapels), Brutalist (Glendale Municipal Services Building and St. Basil Catholic Church), Corporate International (Northrup Grumman), and Late Modern (Sears, Roebuck, and Company Administrative Offices) architectural styles. Unlike A.C. Martin's other known buildings, however, Building 2 was primarily designed as a utilitarian structure that would serve as a produce dock and delicatessen kitchen. Only one façade exhibits elements of the Mid-Century Modern and International styles, and while large, Building 2 does not have a commanding presence like the other buildings designed by A.C. Martin. The 1976 addition constructed onto the south façade of Building 2 also negatively impacted the original integrity of design and materials. As such, Building 2 does not portray characteristics of a specific type, period, or method of construction, nor does it represent the work of a master, nor does it display any elements representative of high artistic values. Therefore, Building 2 is not eligible for designation under Criterion 3.
- As a simple utilitarian service building with corrugated metal siding, Building 3 was not designed in any specific architectural style, does not portray characteristics of a specific type, period, or method of construction, does not represent the work of a master, and does not display any elements representative of high artistic values. Therefore, Building 3 is not eligible for designation under Criterion 3.
- Buildings 4 and 5 were both constructed in 1976 and do not meet the age threshold to be considered historic resources under CEQA. Therefore, Buildings 4 and 5 are not individually eligible for designation under Criterion 3.
- Because none of the buildings within the VEMDC are individually eligible for designation under CRHR Criterion 3, and collectively, the buildings are not representative of a specific type, period, or method of

construction, they do not represent the work of a master, and they do not display any elements representative of high artistic values, the VEMDC overall is not eligible for designation under Criterion 3.

- **CRHR Criterion 4:**

It is unlikely that the five VEMDC buildings, as they presently exist, could contribute additional information, beyond that presented in this report, which could be considered important to the history of the local area or the state. The VEMDC could not be associated with any specific events or persons, nor are any of the buildings designed in a specific style considered good examples of that style. Further research would not provide any additional information pertinent to the history of the city of El Monte or the state of California. Therefore, the buildings and the VEMDC overall are not considered eligible for designation under Criterion 4.

VI. FINDINGS AND CONCLUSIONS

The assessment of the VEMDC has concluded that the original historical and architectural characteristics present in the five buildings are not exemplary in any way. The buildings served as corporate offices and a distribution center for Shopping Bag Food Stores from 1957 until the VEMDC property was purchased by Vons in 1960, which triggered eventual expansion and renovations to the buildings. The only remaining Shopping Bag Food Stores building on the property is Building 1, which has been modified several times since its construction in 1957. Additionally, the office portion of Building 1, which served both Shopping Bag Food Stores and Vons as the corporate office headquarters, was demolished in 2011. Two of the four additional buildings constructed while the property was owned by Vons have been altered several times since their original construction in 1962 (Building 2) and 1968 (Building 3). The remaining two buildings (Buildings 4 and 5) do not meet the minimum age threshold to be considered historic buildings according to CEQA guidelines.

None of the buildings are considered a good example of any specific architectural style and none of the buildings could be associated with any significant persons or events in history. An overall lack of integrity has rendered the entire VEMDC not historically and/or architecturally significant, as defined by CEQA significance criteria. The VEMDC further fails to meet any criteria for historic significance according to CRHR eligibility criteria. Because of the absence of historic resources significant under CEQA, as expressed by CRHR eligibility criteria, removal of the VEMDC buildings will not pose a negative impact on the history, or the overall character, of the surrounding neighborhood.

Impacts Discussion

Although removal of the VEMDC buildings is planned as part of the development of this

property, no historic resources eligible for listing at the state or local level will be impacted. Therefore, no discussion of impacts to historic resources is appropriate under CEQA guidelines and mitigation of impacts will not be required.

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VIII. APPENDICES

Appendix A: Building Development Information

Appendix B: Ownership and Occupant Information

Appendix C: Maps

Appendix D: DPR Forms

Appendix E: Preparers' Qualifications

APPENDIX A

Building Development Information

**-Building Permits
-Notice of Completion for Building 1
-Notive of Completion for Bulding 2
-Site Plan With Footprint**

4436 Shirley

APPLICATION FOR BUILDING PERMIT

1

PLANS MUST BEAR INDUSTRIAL WASTE CLEANING

DIVISION OF BUILDING AND SAFETY Department of County Engineer County of Los Angeles WM. J. FOX, COUNTY ENGINEER CASSATT D. GRIFFIN, SUP'T OF BUILDING		BUILDING ADDRESS <u>10150-56 LOWER AZUSA RD</u>																																								
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WM. J. FOX, COUNTY ENGINEER

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C. N. DIRLAM, CHIEF BLDG. INSPECTOR

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4450 Shirley

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APPLICATION FOR BUILDING PERMIT

DIVISION OF BUILDING AND SAFETY Department of County Engineer County of Los Angeles WM. J. FOX, COUNTY ENGINEER CASSATT D. GRIFFIN, SUP'T OF BUILDING		BUILDING ADDRESS <u>10150-56 Lower Azusa Rd</u> LOCALITY <u>EI MONTE</u> NEAREST CROSS ST. <u>Shirley</u>	
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TRACT <u>GIDLEY-PEARSON</u>		BUILDING SETBACK YARD HWY STREET NAME EXIST. WIDTH	
SIZE OF LOT <u>22 ACRES</u> NO. OF BLDGS. NOW ON LOT <u>2</u>		FRONT P. L. <u>60'</u> LOWER AZUSA	
USE OF EXISTING BLDG. <u>OFFICE + WAREHOUSE (UNDER CONST.)</u>		SIDE P. L.	
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ARCHITECT OR ENGINEER <u>H.V. UNDERHILL</u> TEL. NO. <u>AX 19085</u>		3 APT. UNITS 8 MISCEL.	
ADDRESS <u>4313 LEIMERT BLVD. L.A.</u>		4 COMMERCIAL	
CONTRACTOR <u>NOT SELECTED</u> TEL. NO.		INSPECTION RECORD	
ADDRESS		APPROVALS	
DESCRIPTION OF WORK		DATE INSPECTOR'S SIGNATURE	
NEW ADD ALTER REPAIR DEMOLISH		FOUNDATION: LOCATION FORMS, MATERIALS <u>Wendland</u>	
SQ. FT. SIZE <u>7,200</u> NO. OF STORIES <u>1</u> NO. OF FAMILIES		FRAME: FIRE STOPS, BRACING, BOLTS <u>Wendland</u>	
USE OF STRUCTURE <u>Job 13 1011</u>		FURNACE: LOCATION, GAS VENT, DUCTS	
TRUCK SERVICE		LATH, INT. <u>Wendland</u>	
SIGNATURE OF APPLICANT <u>Tom H. Kasper</u>		LATH, EXT.	
ADDRESS <u>4313 LEIMERT BLVD. L.A.</u>		HOUSE NUMBER CORRECT AND POSTED	
\$ VALUATION <u>22,000</u>		FINAL <u>4-3-57</u> <u>Wendland</u>	
P. C. \$ FEE <u>20.50</u>		WM. J. FOX, COUNTY ENGINEER VALIDATION C. N. DIRLAM, CHIEF BLDG. INSPECTOR	
FEE \$ <u>41.00</u>		I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL COUNTY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION.	
SIGNATURE OF PERMITTEE <u>Wendland</u>		AC 6779 JUL 11 16 2050	
ADDRESS <u>4313 Leimert Blvd L.A.</u>		AC 2422 NOV 16 1 41.00 W. Deane	

PLANS MUST BEAR INDUSTRIAL WASTE CLEANING

WM. J. FOX, COUNTY ENGINEER VALIDATION C. N. DIRLAM, CHIEF BLDG. INSPECTOR

AC 6779 JUL 11 16 2050
 AC 2422 NOV 16 1 41.00 W. Deane

APPLICATION FOR BUILDING PERMIT

DIVISION OF BUILDING AND SAFETY Department of County Engineer County of Los Angeles WM. J. FOX, COUNTY ENGINEER CASSATT D. GRIFFIN, SUPT. OF BUILDING		BUILDING ADDRESS <u>10150-56 LOWER AZUSA RD.</u> LOCALITY <u>EL MONTE</u> NEAREST CROSS ST. <u>Shirley</u>	
FOR APPLICANT TO FILL IN		DISTRICT NO. <u>99.5</u> GROUP <u>F-2</u> TYPE <u>SKN</u> SEWER BK <u>✓</u> MAP PG <u>✓</u> MAP NUMBER <u>2011</u> STATE HWY <u>51</u> YES <u>✓</u> NO <u>✓</u>	
BUILDING ADDRESS <u>10150-56 LOWER AZUSA RD.</u> LOT NO. <u>See ATTACHED</u> BLOCK <u> </u> TRACT <u> </u>		USE ZONE <u>M19</u> SPECIAL CONDITIONS <u>B-1 = 30' F.P.L.</u>	
SIZE OF LOT <u>21 ACRES</u> NO. OF BLDGS. NOW ON LOT <u>1</u>		BUILDING SETBACK YARD <u> </u> HWY <u> </u> STREET NAME <u> </u> EXIST. WIDTH <u> </u>	
USE OF EXISTING BLDG. <u>CROC. WAREHOUSE - UNDER CONSTRUCTION</u>		FRONT P.L. <u>70'</u> SIDE P.L. <u>50'</u>	
OWNER <u>SHOPPING BAG PROPERTIES, INC.</u> MAIL ADDRESS <u>2716 SAN FERNANDO RD.</u> CITY <u>LOS ANGELES</u> TEL. NO. <u> </u>		0 TRACT DWELL. 1 UNIT 5 INDUSTRIAL 1 DWELL. 9 1 UNIT 6 PUBLIC BLDG. 2 DUPLEX 1 UNIT 7 ADDN., ALT., ETC. 3 APT. UNITS 8 MISCEL. 4 COMMERCIAL	
ARCHITECT OR ENGINEER <u>H.W. UNDERHILL</u> TEL. NO. <u>AX 19085</u> ADDRESS <u>4313 LIEMERT BLVD. L.A.</u>		INSPECTION RECORD <u>6/27/56 FOUNDATION PERMIT ISSUED FOR \$45,000 VALUATION. PROPR.</u> <u>7/12/56 CONTINUOUS INSPECTION BY SPECIAL INSPECTORS REQ'D FOR STRUCTURAL WELDING, GYPSUM ROOF DECK & CONCRETE CAISSON CONSTRUCTION. PROPR.</u>	
CONTRACTOR <u>E.W. HAHN, INC.</u> TEL. NO. <u>OR 8796</u> ADDRESS <u>219 S. HAWTHORNE BLVD.</u>		APPROVALS DATE INSPECTOR'S SIGNATURE FOUNDATION: LOCATION FORMS, MATERIALS <u>7-11-56</u> <u>Wainland</u> FRAME: FIRE STOPS, BRACING, BOLTS <u> </u> <u>Wainland</u> FURNACE: LOCATION, GAS VENT, DUCTS <u> </u> <u>Wainland</u> LATH, INT. <u> </u> <u>Wainland</u> LATH, EXT. <u> </u> <u>Wainland</u> HOUSE NUMBER CORRECT AND POSTED <u>7-17-57</u> <u>Wainland</u> FINAL <u>7-17-57</u> <u>Wainland</u>	
DESCRIPTION OF WORK NEW <input checked="" type="checkbox"/> ADD <input type="checkbox"/> ALTER <input type="checkbox"/> REPAIR <input type="checkbox"/> DEMOLISH <input type="checkbox"/> SQ. FT. SIZE <u>41,600</u> NO. OF STORIES <u>2</u> NO. OF FAMILIES <u> </u> USE OF STRUCTURE <u>OFFICE BLDG.</u> TYPE <u>2</u> SIGNATURE OF APPLICANT <u>H.W. UNDERHILL</u> ADDRESS <u>4313 LIEMERT BLVD, L.A.</u>		VALUATION <u>\$ 416,000.00</u> P. C. FEE <u>\$ 126.00</u> FEE <u>\$ 229.50</u>	
I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL COUNTY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION. SIGNATURE OF PERMITTEE <u>Tom. H. Haveland</u> ADDRESS <u>4313 Liemert Blvd. L.A.</u>		WM. J. FOX, COUNTY ENGINEER VALIDATION C. N. DIRLAM, CHIEF BLDG. INSPECTOR	

STRIAL WASTE CLEARANCE

LACo 56568 APR 19 16 126.00

LACo 82958 JUL 17 1 229.50

Spector Bellingfield Chap

APPLICATION FOR BUILDING PERMIT

PLANS MUST BEAR INDUSTRIAL WASTE CLEARANCE

DIVISION OF BUILDING AND SAFETY Department of County Engineer County of Los Angeles WM. J. FOX, COUNTY ENGINEER CASSATT D. GRIFFIN, SUP'T OF BUILDING		BUILDING ADDRESS <u>10150-56 LOWER AZUSA ROAD</u>	
FOR APPLICANT TO FILL IN		LOCALITY _____ NEAREST CROSS ST. _____	
BUILDING ADDRESS <u>10150-56 LOWER AZUSA RD</u>		DISTRICT NO. <u>99-5</u>	GROUP <u>F-2</u>
LOT NO. <u>25 TO 31</u> BLOCK _____		TYPE CONST. <u>III M</u>	SEWER MAP BK _____ PG _____
TRACT <u>GIDLEY-PELSON TRACT AND A PORTION OF RANCHO SAN FRANCISCO</u>		MAP NUMBER <u>2011</u>	STATE HWY YES NO _____
SIZE OF LOT APPROX <u>95000 SQ FT</u> NO. OF BLDGS. NOW ON LOT _____		USE ZONE <u>M-1</u> SPECIAL CONDITIONS <u>Howell 12/9/58</u>	
USE OF EXISTING BLDG. <u>NOTHING</u>		BUILDING SETBACK _____	YARD _____
OWNER <u>SHOPPING BAG PROP. INC</u>		FRONT P.L. <u>10' 40'</u>	HWY _____
MAIL ADDRESS <u>2716 SAN FRANCISCO BLVD</u>		SIDE P.L. <u>12'</u>	STREET NAME <u>LOWER AZUSA RD</u>
CITY <u>L.A. CALIF</u> TEL. NO. _____		EXIST. WIDTH _____	
ARCHITECT OR ENGINEER <u>W. W. UNDERHILL</u> TEL. NO. <u>AX 19025</u>		0 TRACT DWELL. 1 UNIT <u>INDUSTRIAL</u>	
ADDRESS <u>4313 LEIMERT BLVD L.A.</u>		1 DWELL. 1 UNIT _____	
CONTRACTOR _____ TEL. NO. _____		2 DUPLEX 1 UNIT _____	
ADDRESS _____		3 APT. _____ UNITS _____	
DESCRIPTION OF WORK		4 COMMERCIAL _____	
NEW <input checked="" type="checkbox"/>	ADD _____	INSPECTION RECORD	
ALTER _____	REPAIR _____	3/23/58 CONTINUOUS INSPECTION BY SPECIAL INSPECTORS REQ'D FOR STRUCTURAL WELDING, CONCRETE CAISSON & GYPSUM ROOF DECK CONSTRUCTION.	
DEMOLISH _____	NO. OF STORIES <u>1</u>	APPROVALS _____	
SQ. FT. SIZE <u>145,160</u>	NO. OF FAMILIES _____	139.50 DATE _____ INSPECTOR'S SIGNATURE _____	
USE OF STRUCTURE <u>WAREHOUSE (OFFICE & WAREHOUSING)</u>		FOUNDATION: LOCATION FORMS, MATERIALS _____	SIGNATURE <u>Wendland</u>
SIGNATURE OF APPLICANT <u>W. W. Underhill (Prop)</u>		FRAME: FIRE STOPS, BRACING, BOLTS _____	SIGNATURE <u>Wendland</u>
ADDRESS <u>4313 LEIMERT BLVD</u>		FURNACE: LOCATION, GAS VENT, DUCTS _____	SIGNATURE <u>Wendland</u>
VALUATION \$ <u>470,000</u>	P. C. FEE \$ <u>130.00</u>	LATH, INT. _____	SIGNATURE <u>Wendland</u>
VALUATION \$ <u>432,000</u>	FEE \$ <u>277</u>	LATH, EXT. _____	SIGNATURE <u>Wendland</u>
I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL COUNTY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION.		HOUSE NUMBER CORRECT AND POSTED <u>7-17-57</u>	SIGNATURE <u>Wendland</u>
SIGNATURE OF PERMITTEE <u>SHOPPING BAG PROP. INC</u>		FINAL <u>7-17-57</u>	SIGNATURE <u>Wendland</u>
ADDRESS <u>2716 SAN FRANCISCO RD.</u>		VALIDATION	

WM. J. FOX, COUNTY ENGINEER

C. N. DIRLAM, CHIEF BLDG. INSPECTOR

No 43268 DEC 16 16 130.00

No 53428 MAR 22 16 9.50

No 45268 MAR 27 1 279.00

Jordan

R. Carreros

APPLICATION FOR BUILDING PERMIT

1

PLANS MUST BEAR INDUSTRIAL...

DIVISION OF BUILDING AND SAFETY
 Department of County Engineer
 County of Los Angeles
 WM. J. FOX, COUNTY ENGINEER
 CASSATT D. GRIFFIN, SUP'T OF BUILDING

BUILDING ADDRESS 10150 Lower Azusa Rd
LOCALITY El Monte
NEAREST CROSS ST. Shirley

FOR APPLICANT TO FILL IN

DISTRICT NO. 99-5 **GROUP** F-2 **TYPE** III-1hr **SEWER BK** **MAP PG**

BUILDING ADDRESS 10150-56 Lower Azusa Road

MAP NUMBER 2011 (191) **STATE HWY** YES NO

LOT NO. See attached **BLOCK**

USE ZONE M-1 **SPECIAL CONDITIONS** *See Planning 21 June 57*

TRACT II

BUILDING SETBACK **YARD** **HWY** **STREET NAME** **EXIST. WIDTH**

SIZE OF LOT acreage **NO. OF BLDGS. NOW ON LOT** 1

FRONT P.L. 80' **E. LOWER AZUSA** 60'

USE OF EXISTING BLDG. Office & Warehouse

SIDE P.L. 74' **SHIRLEY AVE** 40' & 50'

OWNER Shopping Bag Properties, Inc.

- | | | | | | |
|---|------------|--------|----|---|-------------------|
| 1 | DWELL. | 1 UNIT | 16 | 5 | INDUSTRIAL |
| 2 | DUPLEX | UNIT | | 6 | PUBLIC BLDG. |
| 3 | APT. | UNITS | | 7 | ADDN., ALT., ETC. |
| 4 | COMMERCIAL | | | 8 | MISCEL. |

MAIL ADDRESS 2716 San Fernando Road

CITY Los Angeles **TEL. NO.** CA 2-0101

ARCHITECT OR ENGINEER Faxon, Gruys & Sayler **TEL. NO.** OL 3-2950

ADDRESS 8440 Melrose Avenue

CONTRACTOR Ernest W Hahn Inc **TEL. NO.** OR 8-7796

ADDRESS 219 So Hawthorne Blvd., Hawthorne

INSPECTION RECORD

DESCRIPTION OF WORK

NEW X **ADD** **ALTER** **REPAIR** **DEMOLISH**

Request for concrete - Mezz. & miscous
request comb. insp.
Request approval and basis of + work - B.H. Hunt

SO. FT. SIZE 60,000 **NO. OF STORIES** 1 & 2 **NO. OF FAMILIES** 0

USE OF STRUCTURE Commercial bakery and delicatessen

Requested over phone a cut-off of occupancy to request - talked with Charles Baker 9/16/57

Signature of Applicant *F. A. Sayler*

APPROVAL *Baker 9/16/57*

Address 8440 Melrose Avenue

Valuation *Superstructure = 335,000*
Finishes = 40,000
375,000

P.C.S FEE 115.25
FEE 211.50

FOUNDATION: LOCATION FORMS, MATERIALS	DATE	INSPECTOR'S SIGNATURE
FRAME: FIRE STOPS, BRACING, BOLTS	Various 57	Weinland
FURNACE: LOCATION, GAS VENT, DUCTS	Various 57	Weinland
LATH. INT.	Various 57	Weinland
LATH. EXT.	Various 57	Weinland
HOUSE NUMBER CORRECT AND POSTED	9-16-57	Weinland
FINAL	9-16-57	Weinland

I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL COUNTY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION.

Signature of Permittee *Shopping Bag Properties Inc*

Address 2716 San Fernando Rd

VALIDATION

WM. J. FOX, COUNTY ENGINEER

BY 4778 JUN 22 1957 **DEPUTY** 11575

BY 02398 SEP 14 1957 **DEPUTY** 21150

BY **DEPUTY**

BY *Schantzen* **DEPUTY** *L. White*

Hahn

APPLICATION FOR BUILDING PERMIT

BUILDING AND SAFETY DIVISION
 Department of County Engineer
 County of Los Angeles
JOHN A. LAMBIE, COUNTY ENGINEER
 CASSATT D. GRIFFIN, SUP'T OF BUILDING

BUILDING ADDRESS *10150-56 Lower Azusa Rd*

LOCALITY *Temple City*
 NEAREST CROSS ST. *Shirley*

FOR APPLICANT TO FILL IN

BUILDING ADDRESS *10150-56 Lower Azusa Rd*

LOT NO. *25, 26, 27, 28, 29, 30, 31* BLOCK

TRACT *Griddley, Pierson*

SIZE OF LOT *700' x 1000'* NO. OF BLDGS. NOW ON LOT *4*

USE OF EXISTING BLDG. *Shopping Bag Warehouse*

OWNER *Shopping Bag Properties*

MAIL ADDRESS *10150 Lower Azusa Rd*

CITY *El Monte* TEL. NO. *61-4030*

ARCHITECT OR ENGINEER *H. M. Hansen* TEL. NO. *AT 69137*

ADDRESS *5549 N. Rosemead Blvd*

CONTRACTOR *A. E. Cook* TEL. NO. *AT 44636*

ADDRESS *8927 Ralph St Rosemead*

DESCRIPTION OF WORK

NEW ADD ALTER REPAIR DEMOLISH
 SQ. FT. SIZE *60' x 100'* NO. OF STORIES *1* NO. OF FAMILIES
 USE OF STRUCTURE *Storage*

SIGNATURE OF APPLICANT *A. E. Cook*

ADDRESS *8927 Ralph St Rosemead*

VALUATION \$ *15,000.00*

P. C. FEE \$ *17.00*
 FEE \$ *34*

I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL COUNTY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION.

SIGNATURE OF PERMITTEE *A. E. Cook*

ADDRESS *8927 Ralph St Rosemead*

DISTRICT NO. *99-5* GROUP *F-2* TYPE *IV* SEWER MAP BK PG

STATISTICAL CLASSIFICATION

CLASS. NO. *9* DWELL. UNITS

MAP NUMBER *2011* STATE HWY YES NO

USE ZONE *B-1* SPECIAL CONDITIONS *M-1*

BUILDING SETBACK YARD HWY STREET NAME EXIST. WIDTH

FRONT P. L. *40' E. LOWER AZUSA 80'*

SIDE P. L. *DL N. SHIRLEY 70' x 50'*

INSPECTION RECORD

6-6-57 *Pick States OK to pour.*

FOUNDATION: LOCATION, FORMS, MATERIALS	<i>6-6-57</i>	<i>Wentland</i>
FRAME: FIRE STOPS, BRACING, BOLTS	<i>2-4-57</i>	<i>Wentland</i>
FURNACE: LOCATION, GAS VENT, DUCTS		
LATH. INT.		
LATH. EXT.		
HOUSE NUMBER CORRECT AND POSTED	<i>2-4-58</i>	<i>Wentland</i>

APPROVALS DATE INSPECTOR'S SIGNATURE

6-6-57 *Wentland*

2-4-57 *Wentland*

2-4-58 *Wentland*

2-4-58 *Wentland*

2-4-58 *Wentland*

2-4-58 *Wentland*

2-4-58 *Wentland*

JOHN A. LAMBIE, COUNTY ENGINEER.

CLYDE N. DIRLAM, PRINCIPAL STRUCTURAL ENGINEER

PLAN CHECK VALIDATION CK. M.O. CASH

PERMIT VALIDATION M.O. CASH

Co 02635 MW1516

17.00

Co 86895 MAY 29 1

34.00

Schantzen

Roush

PLANS MUST BEAR INDUSTRIAL WASTE CLEARANCE

Burke

CITY OF EL MONTE
BUILDING DEPARTMENT
APPLICATION AND PERMIT

Nº 21060

El Monte, Calif., 6/23 1961

APPLICATION

Application is hereby made for permission to build as follows, same to be done in accordance with all Ordinances of said City:

Location of Job. 916 N. Shirley St. Ave.
 Owner. Von's Shopping Bldg. Contractor. EARL O STICE Co
 Address. 10150 Lower Azusa Address. 852 W. Doran St. Glendale

Lot <u>35, 36</u>	Tract <u>Rancho S.E.</u>	Sewer Connection
Type of Building <u>Whse & Deli. Bldg.</u>	Permit—\$1.00	
Purpose of Building <u>rough plumbing</u>	For <u>6-6-61</u>	Tract
Size: <u>x</u>		Cesspool
No. of Rooms <u>ground plumbing</u>	Permit—\$1.00	
Foundation <u>south Dec. 2001</u>	Lot <u>6-25-61</u>	Tract
Roof <u>ground plumbing</u>	Permit—\$1.00	
Estimated Cost <u>OK - 5-15-61</u>	Lot <u>6-25-61</u>	Tract
Removal of Buildings <u>OK - 5-15-61</u>	Permit—\$1.00	Septic Tank
Lot <u>OK - 5-15-61</u>	Tract <u>OK - 5-15-61</u>	Tract

Plumbing

8 Water Closet	OK - 5-9-61	8.00
6 Bath-Tubs	Ind. Waste Rec.	6.00
5 Wash-Stands	Urinal	5.00
2 Wash Sinks	Service	2.00
14 Wash-Tubs	Floor Sinks	14.00
7 Shower	Kit. Sinks	7.00
10 Floor Drains		10.00
11 Wall or Floor Furnace	Lavatory	11.00
7 Gas Refrigerators	Dr. Fountain	7.00
2 Water Heaters		2.00
8 Gas Outlets (2) systems		2.00
1 Water System		1.00

Plumbing OK - 5-17

Electric Wiring

Permit	Wiring	
Permit	Fixtures	
Permit	Range	
Permit	Temp. Serv.	
Outlets @ .05		
Outlets @ .02½		
Fixtures @ .05		
Fixtures @ .02½		
Heaters		
Neon Signs		
Electric Motors	HP	

Plumbing OK 6-26
Sewer OK 6-27
PAR OF SEWER OK 6-23
PAR OF SEWER OK 6-30
SEWER ELEC - OK 7-6-61

#2670

PERMIT

The above application is hereby approved and receipt of the fee in the amount of \$ 167.00

is hereby acknowledged by cashier.

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA

BUILDING DEPARTMENT

937

511 EAST VALLEY BOULEVARD • GILBERT 4-9211

FOR APPLICANT TO FILL IN

BUILDING ADDRESS: 916 N. Shirley

LOT NO.: 35, 36 1/2 Rancho San Joaquin

TRACT: _____

SIZE OF LOT: 40 Acres NO. OF BUILDINGS NOW ON LOT: 3

USE OF EXISTING BLDG.: Office & Warehouse

OWNER: Rona's Shopping Bag

MAIL ADDRESS: 10150 Lower Azusa Rd.

CITY: El Monte TEL. NO.: _____

ARCHITECT OR ENGINEER: _____ TEL. NO.: _____

ADDRESS: _____

CONTRACTOR: Cosco Fire Protection Ins. TEL. NO. F415155

ADDRESS: 10304 So Broadway Gardens

DESCRIPTION OF WORK

NEW	ADD.	ALTER.	REPAIR	DEMOLISH
<input checked="" type="checkbox"/>				
SO. FT. SIZE		NO. OF STORIES		NO. OF FAMILIES
USE OF STRUCTURE: <u>Automatic Fire Sprinklers</u>				

SIGNATURE OF APPLICANT: James J. Humphrey

ADDRESS: _____

VALUATION: \$ 72,000.00

P.G. FEE: \$ _____

FEE: \$ 173.50

BUILDING ADDRESS: 916 N. Shirley

LOCALITY: N. West

NEAREST CROSS ST.: Lower Azusa

DISTRICT	GROUP	TYPE	SEWER MAP BK	PG
<u>100</u>	<u>F1</u>	<u>CONST. 3</u>		

STATISTICAL CLASSIFICATION

CLASS NO.: 100 DWELL. UNIT: _____

MAP NUMBER: 165 STATE HWY.: _____ YES NO

USE-ZONE: M2 SPECIAL CONDITIONS: _____

BUILDING SET BACK	YARD	HWY.	STREET NAME	EXIST. WIDTH
FRONT P.L.	<u>40</u>			
SIDE P.L.	<u>20</u>			

INSPECTION RECORD

Parton Cassano OK 5/11

15/12

15/15

15/16

Parton of inspection OK 12-14

OK 1-15

OK 6-16

Permitting OK - 7-19-61

Part of climbing OK 7-18-61

Permitting OK 7-21-61

Unacceptable OK 8-16-61

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION: LOCATION FORMS, MATERIALS		
FRAME: FIRE STOPS BRACING, BOLTS		
FURNACE: LOCATION GAS VENT, DUCTS		
LATH: INT.		
LATH EXT.		
HOUSE NUMBER CORRECT AND POSTED		
FINAL		

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITEE: _____

ADDRESS: _____

PLAN CHECK VALIDATION CH. M.O. CASH

PERMIT VALIDATION TICK M.O. CASH

\$173.50

APPROVED

6-2-61

CITY OF EL MONTE
BUILDING DEPARTMENT

Paid receipt #2550 5-26-61

CERTIFICATE OF OCCUPANCY

No 1253

City of El Monte, California
BUILDING DEPARTMENT & FIRE DEPARTMENT
511 East Valley Boulevard, El Monte • Forest 0-9211
As required by the El Monte Municipal Code

January 4 1962

THIS IS TO CERTIFY that the premises and/or structures located at

910 North Shilby

Monte, California, have been inspected and that same complies as of the date hereof, with the regulations of the City of El Monte and provided that the occupant complies with all the ordinances and regulations of the City of El Monte and the State of California and requirements of the owners, may be

occupied by Wons Shopping Bag

or the purpose of food processing plant

Permit Fee \$ Free

Building Type No. 3 Lot No.
Fire District No. 3 Block
Zone M 2 Tract

John Willis
Building Inspector
City of El Monte

Wine By Young
Fire Chief
City of El Monte

APPROVED
1-4-62
CITY OF EL MONTE
BUILDING DEPARTMENT
John
This permit not valid unless signed
by authorized members of the
Building and Fire Departments of
the City of El Monte.

NOTE: Preserve this certificate for inspection whenever called upon by proper authorities to produce same. This certificate is not transferable, and must be renewed upon any change of use or occupancy.

Officially Registered to
Goodman
216-571-8730
08/28/2015

APPLICATION FOR BUILDING PERMIT

1

COUNTY OF LOS ANGELES
DEPARTMENT OF COUNTY ENGINEER
BUILDING AND SAFETY DIVISION
JOHN A. LAMBIE, COUNTY ENGINEER
WILLIAM A. JENSEN, SUPT OF BUILDING

FOR APPLICANT TO FILL IN

BUILDING ADDRESS 10150-10156 LOWER AZUSA ROAD				
LOT NO. 251031 & GIDLEY PIERSON TRACT BLOCK, <i>and portion of RANCHO SAN FRANCISCO</i>				
SIZE OF LOT	NO. OF BLDGS. NOW ON LOT 4			
USE OF EXISTING BLDG. MAINTENANCE BUILDING				
OWNER VANS & SHOPPING BAG PROPERTIES INC. TEL. NO.				
ADDRESS 10150-10156 LOWER AZUSA ROAD				
ARCHITECT OR ENGINEER ROBERT H. AINSWORTH TEL. NO. 543-4850				
ADDRESS 1199 E WALNUT PASADENA				
CONTRACTOR TEL. NO.				
ADDRESS				
DESCRIPTION OF WORK				
NEW	ADD	ALTER	REPAIR	DEMOLISH
SQ. FT. SIZE 2000			NO. OF STORIES 1	NO. OF FAMILIES
USE OF STRUCTURE MAINTENANCE BUILDING				
W/ PORTION PAINT SPRAY ROOM ALTERED				
SIGNATURE OF APPLICANT Arthur A. Serchie				
VALUATION \$ 1500 (4500)				
P.C. FEE \$ 5.75	PMT. FEE \$ 11.50			
I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL COUNTY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION. I CERTIFY THAT IN DOING THE WORK AUTHORIZED, HEREBY I WILL NOT EMPLOY ANY PERSON IN VIOLATION OF THE LABOR CODE OF THE STATE OF CALIFORNIA RELATING TO WORKMEN'S COMPENSATION INSURANCE.				
SIGNATURE OF PERMITTEE Robert Struble				
ADDRESS E. W. Hahn				

BUILDING ADDRESS 10150-10156 Lower Azusa Rd			
LOCALITY El Monte			
NEAREST CROSS ST. Shirley			
DISTRICT NO. 5	GROUP E2	TYPE CONST. <input checked="" type="checkbox"/>	PROCESSED BY White
STATISTICAL CLASSIFICATION			SEWER MAP BK PG
CLASS. NO. 9 DWELL. UNITS			
WATER CERTIFICATE: NOT REQUIRED <input checked="" type="checkbox"/> RECEIVED <input type="checkbox"/>			
MAP NO. 2011	HIGHWAY (CIRCLE)	STATE MAJOR SECOND, LOCAL	
USE ZONE MV	SPECIAL CONDITIONS 7, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100		
BUILDING SETBACK	YARD	HWY	STREET NAME
FRONT P. L.			
SIDE P. L.	25'	Shirley	50'
INSPECTION RECORD			
<i>Handwritten inspection notes and signatures</i>			
APPROVALS			
FOUNDATION: LOCATION FORMS, MATERIALS		DATE	INSPECTOR'S SIGNATURE
FRAME: FIRE STOPS, BRACING, BOLTS			
FURNACE: LOCATION, GAS VENT, DUCTS			
LATH, INT.			
LATH, EXT.			
HOUSE NUMBER CORRECT AND POSTED			
FINAL		7/13/62	Struble

INSPECTOR COPY

PLAN CHECK VALIDATION M.O. CASH

CLYDE N. DIRLAM, PRINCIPAL STRUCTURAL ENGINEER
PERMIT VALIDATION M.O. CASH

LA 94258 MAR 12 23 A

5.75

LA 05038 APR 4 1 A 11.50

Bonham

Reusch

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA

511 EAST VALLEY BOULEVARD • Gilbert 4-9211

BUILDING DEPARTMENT **3409**

REAR: FOR APPLICANT TO FILL IN

BUILDING ADDRESS **10150 LOWER AZUSA RD.**

LOT NO. **OK** BLOCK

TRACT **file**

SIZE OF LOT NO. OF BUILDINGS NOW ON LOT

USE OF EXISTING BLDG. **WAREHOUSE**

OWNER **WON'S GROCERY COMPANY**

MAIL ADDRESS **10150 LOWER AZUSA RD.**

CITY **EL MONTE** TEL. NO.

ARCHITECT OR ENGINEER **AINSWORTH** TEL. NO. **MU. 18461**

ADDRESS **1199 EAST WALNUT**

CONTRACTOR **ERNEST W. HAHN** TEL. NO. **055 HAWI**

ADDRESS **219 SO. HARTHERNE BLVD.**

BUILDING ADDRESS **10150 Lower Azusa**

LOCALITY **North**

NEAREST CROSS ST. **Shirley**

DISTRICT **Person** GROUP **V** TYPE **F-2** SEWER MAP BK PG

STATISTICAL CLASSIFICATION **Admto com**

CLASS NO. DWELL. UNIT

MAP NUMBER **66** STATE HWY. YES NO

USE ZONE **M-2** SPECIAL CONDITIONS

BUILDING SET BACK	YARD	HWY.	STREET NAME	EXIST WIDTH
FRONT P.L.				17.5
SIDE P.L.				

DESCRIPTION OF WORK

NEW	ADD.	ALTER.	REPAIR	DEMOLISH
<input checked="" type="checkbox"/>				
SQ. FT. SIZE 6,014	NO. OF STORIES 1	NO. OF FAMILIES		
USE OF STRUCTURE BANANA STORAGE				

SIGNATURE OF APPLICANT **Robert Patrone**

ADDRESS **1700 2nd St. Manhattan Beach**

VALUATION **24,500.00**

P.C. FEE	\$ 7750
FEE	\$ 75.00

I hereby acknowledge that I have read this application and agree that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITEE **Robert Patrone**

ADDRESS **1700 2nd St. Manhattan Beach**

PLAN CHECK VALIDATION CH. M.O. CASH

INSPECTION RECORD

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION: LOCATION FORMS, MATERIALS	4-30-63	PC
FRAME: FIRE STOPS BRACING, BOLTS		
FURNACE: LOCATION GAS VENT, DUCTS		
LATH: INT.		
LATH EXT.		
HOUSE NUMBER CORRECT AND POSTED	8-27-63	W

APPROVED

PERMIT VALIDATION CH. M.O. CASH

CITY OF EL MONTE
BUILDING DEPARTMENT

Amstrong
4/19/63

4-457
4-11-63 me

76A638A CE#803 8-63

APPLICATION FOR BUILDING PERMIT

file with others at 10150 Lower Azusa but in Shirley Ave

COUNTY OF LOS ANGELES
DEPARTMENT OF COUNTY ENGINEER
BUILDING AND SAFETY DIVISION
JOHN A. LAMBIE, COUNTY ENGINEER
WILLIAM A. JENSEN, SUPT OF BUILDING

FOR APPLICANT TO FILL IN			
BUILDING ADDRESS	4522 - Shirley Ave		
LOT NO.	30-411-2-111 BLOCK		
TRACT	Shirley - Pinson		
SIZE OF LOT	NO. OF BLDGS. NOW ON LOT 6		
USE OF EXISTING BLDG.	Offices, Whse., Bakery		
OWNER	Vons Shipping Bag		
ADDRESS	Lower Azusa Rd.		
ARCHITECT OR ENGINEER	Macdonald & Macdonald No. 2-1184		
ADDRESS	Vermont Ave L.A.		
CONTRACTOR	Granville Black		
ADDRESS	1618-Bottonington Dr.		
DESCRIPTION OF WORK			
NEW	ALTER	REPAIR	DEMOLISH
SQ. FT. SIZE	NO. OF STORIES	NO. OF STORIES	NO. OF FAMILIES
USE OF STRUCTURE	Same - Bakery		
SIGNATURE OF APPLICANT	Granville Black		
VALUATION \$	25,000.00		
P.C. FEE \$	41.00	PMT. FEE \$	92.00
I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL COUNTY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION. I CERTIFY THAT IN DOING THE WORK AUTHORIZED HEREBY I WILL NOT EMPLOY ANY PERSON IN VIOLATION OF THE LABOR CODE OF THE STATE OF CALIFORNIA RELATING TO WORKMEN'S COMPENSATION INSURANCE.			
SIGNATURE OF PERMITTEE	Vons Shipping Bag		
ADDRESS	By Granville Black		

BUILDING ADDRESS	4522 N. Shirley		
LOCALITY	Edmont		
NEAREST CROSS ST.	Lower Azusa		
DISTRICT NO.	GROUP	TYPE CONST.	PROCESSED BY
5	E 2	✓	Abush
STATISTICAL CLASSIFICATION		SEWER MAP	
CLASS. NO.	DWELL. UNITS	BK	PG
9	-	✓	
WATER CERTIFICATE: NOT REQUIRED <input checked="" type="checkbox"/> RECEIVED <input type="checkbox"/>			
MAP NO.	HIGHWAY (CIRCLE)	STATE MAJOR SECOND, LOCAL	
20 11			
USE ZONE	SPECIAL CONDITIONS		
M1			
BUILDING SETBACK	YARD	HWY	STREET NAME
FRONT P. L.			Shirley Ave
SIDE P. L.			50
See file at 10150 Lower Azusa			
7-20-64			
Gas Leaker			
#125 ad. Ceiling			
1 mn. Red. Hilt. unit			
3-21-64 No elect. Permits			
applied			
APPROVALS		DATE	INSPECTOR'S SIGNATURE
FOUNDATION: LOCATION FORMS, MATERIALS			
FRAME: FIRE STOPS, BRACING, BOLTS		7-26-64	applied
FURNACE: LOCATION, GAS VENT, DUCTS			
LATH. INT.		9-11-64	applied
LATH. EXT.		9-11-64	applied
HOUSE NUMBER CORRECT AND POSTED			
FINAL		1-25-65	applied

INSPECTOR COPY

PLAN CHECK VALIDATION (CK.) M.O. CASH

JOHN F. LEWIS, PRINCIPAL STRUCTURAL ENGINEER
PERMIT VALIDATION (CK.) M.O. CASH

LAC 96953 JUN 4 23 A 46.00

LAC 04793 JUN 24 1 A 92.00

Bonham

Bonham

W/M 15

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA

BUILDING DEPARTMENT

11333 East Valley Boulevard • 444-9211 Ext. 57 or 58

APPROVED

FOR APPLICANT TO, FILL IN

CITY OF EL MONTE
BUILDING DEPARTMENT
PERMIT NUMBER REQUIRED
REQUESTING INSPECTION

5060 Lower Azusa
Blvd - (Under)

GROUP	TYPE CONST.	SEWER MAP BK	PG
2	III-N		

STATE HIGHWAY YES (NO)
FRONT YARD SET BACK 50' & OF ST
SIDE YARD SET BACK X
REAR YARD SET BACK X
TYPE OF SUB
STRUCTORS

INSPECTION RECORD
GUTTERS
Interior 9-16-66 Conway
9-22-66 Conway
9-23-66 Conway
12-6-66 Conway
27-66 Conway
28-29-66 Conway

APPROVALS

DATE	INSPECTOR'S SIGNATURE
9-29-67	Newman
2-6-67	Conway
1-25-67	Conway

BUILDING ADDRESS 10150 LOWER AZUSA RD.
LOT NO. BLOCK
TRACT RANCHO SAN FRANCISCO TRACT
SIZE OF LOT 2925' x 809' I.R. NO. OF BUILDINGS NOW ON LOT 4
USE OF EXISTING BLDG. OFFICES & WAREHOUSE
OWNER VONG GROCERY CO
MAIL ADDRESS 10150 LOWER AZUSA RD
CITY EL MONTE TEL. NO. CU 36181
ARCHITECT OR ENGINEER V.R. WARREN TEL. NO. MA 6-0101
ADDRESS 930 SUNSET BLVD
CONTRACTOR NOT SELECTED HAHN CO
ADDRESS 219 S HAWTHORN BLVD
CITY HAWTHORN TEL. NO. CITY.
LICENSES NO. 159056 STATE NO.

DESCRIPTION OF WORK
NEW ALTER. REPAIR DEMOLISH
1ST FL - 162000 250,000 SQ FT
NO. STORIES 1 NO. OF FAMILIES
USE OF PROPOSED STRUCTURE WAREHOUSE & PARKING
SIGNATURE OF APPLICANT Carl S. Hahn
ADDRESS 930 Sunset Blvd L.A.

VALUATION \$1,919,600.00
P.C. FEE \$1,017.75
FEE \$2,035.50
TOTAL \$3,053.25

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.
SIGNATURE OF PERMITEE Hahn Cons. Co.

6649
TH
WI
BUILDING ADDRESS: /
NEAREST CROSS ST.
FIRE ZONE III
MAP NUMBER 7
USE ZONE M2
SPECIAL CONDITIONS
CORR
Footings
FOUNDATION: FORMS, MATE
ROOFING OR I
FRAME: FIRE S
BRACING: BOL
FURNACE: LOC
GAS VENT, DU
LATH: INT.
LATH: EXT.
HOUSE NUMBER
CORRECT AND

ADDRESS 219 Hawthorn Blvd. Hawthorn Calif. FINAL 4-6-67 Conway
PLAN CHECK VALIDATION: CK. M.O. CASH PERMIT VALIDATION: CK. M.O.
DATE: 7-19-66 Conway
RECEIPT NO.: 15279
FORM 142-15

CERTIFICATE OF OCCUPANCY

City of El Monte
BUILDING DEPARTMENT & FIRE DEPARTMENT
11333 East Valley Blvd., El Monte • Phone 444-9211
Building Department Ext. 57 — Fire Department Ext. 71

No 3130

April 6 1967

THIS IS TO CERTIFY that the premises and/or structures located at

10150 Lower Azusa

El Monte, California, have been inspected and that same complies as of the date hereof, with the regulations of the City of El Monte and provided that the occupant complies with all the ordinances and regulations of the City of El Monte, may be

occupied by Cons Rogers Co -

for the purpose of warehouse

Mailing Address 10150 Lower Azusa

Phone No. Business: _____

Residence: _____

Permit Fee: Free

Receipt No.: _____

Type of Occupancy 22 Change of Owner

Building Type No. III Change of Business

Fire District No. III New Building

Zone M-2 Annex

R. P. ...
Building Inspector

NOTE: Preserve this certificate for inspection whenever called upon by proper authorities to produce same. This certificate is not transferable, and must be renewed upon any change of use of occupancy.

A. K. ...
Fire Inspector

OFFICE COPY

4-7-67
CITY OF EL MONTE
BUILDING DEPARTMENT
R. Worthington
This permit not valid unless signed by authorized members of the Building and Fire Departments of the City of El Monte.

Copyright © 1967 by Goodhue & Tamm, Architects
216.50
08/28/2015

1030

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA
11333 East Valley Boulevard • 444-9211 Ext. 57 or 58

BUILDING DEPARTMENT

APPROVED

FOR APPLICANT TO FILL IN

BUILDING ADDRESS 10150 Lower Azusa Rd.

LOT NO. _____ TRACT NO. _____ BLOCK _____

SIZE OF LOT _____ NO. OF BUILDINGS NOW ON LOT _____
USE OF EXISTING BLDG. PUMP HOUSE

OWNER WON'S GROCERY CO.

MAIL ADDRESS 10150 LOWER AZUSA RD.

CITY EL MONTE TEL. NO. 2836181

ARCHITECT OR ENGINEER _____ TEL. NO. _____

ADDRESS _____

CONTRACTOR COSCO FIRE PROT.

ADDRESS 16306 So BROADWAY

CITY GARDENA TEL. NO. 3215155

STATE LICENSES NO. 190141 C-16

DESCRIPTION OF WORK

NEW ADD. _____ ALTER. _____ REPAIR _____ DEMOLISH _____

SQ. FT. 450# NO. STORIES _____ NO. OF FAMILIES _____

USE OF PROPOSED STRUCTURE PUMP HOUSE

SIGNATURE OF APPLICANT Cosco Fire Protection

ADDRESS 16306 So. Broadway

\$ 15,600.00

P.C. FEE \$ _____

PERMIT FEE \$ 51.00

BUS. LIC. FEE \$ _____

TOTAL \$ 51.00

VALUATION

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE Cosco Fire Prot. Co.

ADDRESS 16306 So. Broadway

(THIS PERMIT NOT VALID UNTIL STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

PERMIT NUMBER:

8929

APPROVED
CITY OF EL MONTE
BUILDING DEPARTMENT
By D. O. Worthington

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 Lower Azusa

NEAREST CROSS ST. Spurley MAP NUMBER 75

FIRE ZONE III GROUP _____ TYPE CONST. _____ SEWER MAP BK _____ PG _____

USE ZONE M-2 FRONT YARD SET BACK _____

SIDE YARD SET BACK _____

REAR YARD SET BACK _____

SPECIAL CONDITIONS
(1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

INSPECTION RECORD

CONSTRUCTION LEADER

NAME: _____

ADDRESS: _____

ADDRESS: _____

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION: LOCATION FORMS, MATERIALS		
ROOFING OR DIAPHRAGM		
FRAME: FIRE STOPS BRACING, BOLTS		
FURNACE: LOCATION GAS VENT, DUCTS		
LATH: INT.		
LATH: EXT.		
HOUSE NUMBER CORRECT AND POSTED		
FINAL	<u>1-20-69</u>	<u>Conway</u>

FEE PAYMENT VALIDATION

1. OFFICE COPY

NOV-26-68

08744 • • •

A - I

51.00

SK

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA
11333 East Valley Boulevard • 444-9211 Ext. 57 or 58

BUILDING DEPARTMENT

RAW

FOR APPLICANT TO FILL IN

BUILDING ADDRESS 10150 LOWER AZUSA RD.

LOT NO. MILPITAS TRACT NO. BOARDS

SIZE OF LOT _____ NO. OF BUILDINGS NOW ON LOT _____

USE OF EXISTING BLDG. _____

OWNER WONS GROCERY CO.

MAIL ADDRESS 10150 LOWER AZUSA RD

CITY EL MONTE TEL. NO. _____

ARCHITECT OR ENGINEER W. H. CLELAN TEL. NO. 573-9119

ADDRESS 1199 WALNUT ST. PASADENA

CONTRACTOR E. W. HAHN INC.

ADDRESS 2811 El Segundo Blvd.

CITY HAWTHORNE CALIF. TEL. NO. 213-757-915

STATE LICENSES NO. B1-159056

DESCRIPTION OF WORK

NEW ADD. ALTER. REPAIR DEMOLISH

SQ. FT. 490 NO. STORIES 1 NO. OF FAMILIES 1

USE OF PROPOSED STRUCTURE PUMP HOUSE

SIGNATURE OF APPLICANT [Signature]

ADDRESS 1199 WALNUT ST. PASADENA

P.C. FEE \$ 7.50

PERMIT FEE \$ 15.00

BUS. LIC. FEE \$ 15.00

TOTAL \$ 37.50

VALUATION _____

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE James G. Allen

ADDRESS 11825 Calif. St. Yucca, Calif.

(THIS PERMIT NOT VALID UNTIL STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

PERMIT NUMBER: _____

8798

CITY OF EL MONTE
Robert BUILDING DEPARTMENT
GENERAL BUILDING

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 Lower Azusa

NEAREST CROSS ST. W. Ashley MAP NUMBER 75

FIRE ZONE III GROUP F-2 TYPE CONST. T-N SEWER MAP BK _____ PG _____

USE ZONE _____ FRONT YARD SET BACK 50' C/L

SIDE YARD SET BACK 5'

REAR YARD SET BACK 75'

SPECIAL CONDITIONS
(1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

Extend Fire Sprinklers into this addition

INSPECTION RECORD

CONSTRUCTION LEADER

Name: _____

Branch: None

Address: Bruck & B. BAR - 12-26-65 - D.M.

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION: LOCATION FORMS, MATERIALS	<u>12-11-68</u>	<u>Conway</u>
ROOFING OR DIAPHRAGM	<u>1-2-69</u>	<u>Conway</u>
FRAME: FIRE STOPS BRACING, BOLTS	<u>1-2-69</u>	<u>Conway</u>
FURNACE: LOCATION GAS VENT, DUCTS		
LATH: INT.		
LATH: EXT.		
HOUSE NUMBER CORRECT AND POSTED		
FINAL	<u>1-20-69</u>	<u>Conway</u>

OCT-18-68 FEE PAYMENT & VALIDATION

• A - I

22.50

OCT-18-68

07304

• H - I

15.00

1. OFFICE COPY

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103 D

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA
11333 East Valley Boulevard • 444-9211 Ext. 57 or 58

APPROVED
4-2-69
CITY OF EL MONTE
BUILDING DEPARTMENT
R. Woodhull

FOR APPLICANT TO FILL IN

BUILDING ADDRESS: 10150 Lower Azusa Rd.
LOT NO. 27-28 TRACT NO. RANCHO SAN FRANCISCO BLOCK 10 NO. OF BUILDINGS NOW ON LOT 4
SIZE OF LOT: IRREG.
USE OF EXISTING BLDG.: WAREHOUSE
OWNER: VONS GROCERY Co
MAIL ADDRESS: 10150 LOWER AZUSA RD. EL MONTE, CA 91734
CITY: EL MONTE, CA TEL. NO.: 253-6181
ARCHITECT OR ENGINEER: DONALD R. WARD, N.E. MA 60101
ADDRESS: 930 SWEST BL
CONTRACTOR: ERNEST W. HAY INC.
ADDRESS: 2311 W. EL SEGUNDO BLVD
CITY: HAWTHORNE, CA TEL. NO.: 757-9151
STATE LICENSES NO.

(THIS PERMIT NOT VALID UNTIL STAMPED APPROVED BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

PERMIT NUMBER: 9210

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 Lower Azusa
NEAREST CROSS ST: Shurley MAP NUMBER: 75
FIRE ZONE: III GROUP: 22 TYPE CONST.: TEN SEWER MAP BK PG
USE ZONE: M2 FRONT YARD SET BACK: 50' C/L
SIDE YARD SET BACK: -
REAR YARD SET BACK: -

SPECIAL CONDITIONS
(1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

CONSTRUCTION LENDER

NAME: NONE
BRANCH: NONE
ADDRESS: RE-BAR - H-3-69 - New Pro.

INSPECTION RECORD

CASONS & STEEL - H-2-69 - PD
GRADE & MESH - H-10-69 - ML

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION: LOCATION FORMS, MATERIALS	4-7-69	Conway
ROOFING OR DIAPHRAGM FRAME: FIRE STOPS BRACING, BOLTS	7-24-69	Conway
FURNACE: LOCATION GAS VENT, DUCTS		
LATH: INT.		
LATH: EXT.		
HOUSE NUMBER CORRECT AND POSTED		
FINAL	8-20-69	Conway

DESCRIPTION OF WORK
NEW ADD. ALTER. REPAIR DEMOLISH
SQ. FT. 8400 ± NO. STORIES 1 NO. OF FAMILIES
USE OF PROPOSED STRUCTURE: Campy & Deck
SIGNATURE OF APPLICANT: [Signature]
ADDRESS: 7140 Colwyn Ave. Highland

VALUATION: \$30,000.00
P.C. FEE \$
PERMIT FEE \$ 69.00
BUS. LIC. FEE \$
TOTAL \$ 69.00

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE: [Signature]
ADDRESS: 7140 Colwyn Ave Highland

APR-2-69 PERMIT VALIDATION • A-I SK 69.00

1031003

HTG. & A.C. PERMIT
APPLICATION FOR BUILDING PERMIT
 CITY OF EL MONTE, CALIFORNIA
 BUILDING DEPARTMENT
 11333 East Valley Boulevard • 444-9211 Ext. 57 or 58

APPROVED

FOR APPLICANT TO FILL IN

BUILDING ADDRESS: 10150 LOWER AZUSA ROAD

LOT NO. _____ TRACT NO. _____ BLOCK _____

SIZE OF LOT _____ NO. OF BUILDINGS NOW ON LOT _____

USE OF EXISTING BLDG. WAREHOUSE

OWNER VON'S GROCERY CO.

MAIL ADDRESS 10150 LOWER AZUSA ROAD

CITY EL MONTE TEL. NO. 283-6181

ARCHITECT OR ENGINEER DONN GILMORE TEL. NO. 7239951

10 W.A.C. ADDRESS 12046 E. FLORENCE AVE. S.F.S.

CONTRACTOR WESTERN ALLIED CORP.

ADDRESS 12046 E. FLORENCE AVE.

CITY SANTA FE SPRING TEL. NO. 7239951

STATE LICENSES NO. 198921 C-20#
3C-36

DESCRIPTION OF WORK

NEW **ADD.** ALTER. REPAIR DEMOLISH

SQ. FT. 10,000 NO. STORIES 1 NO. OF FAMILIES 1

USE OF ~~EXISTING~~ PROPOSED STRUCTURE PAPER WAREHOUSE

SIGNATURE OF APPLICANT Edward S. Quigada

ADDRESS 12046 E. FLORENCE AVE

VALUATION	P.C. FEE \$	_____
	PERMIT FEE \$	<u>36.00</u>
	BUS. LIC. FEE \$	<u>36.00</u>
	TOTAL \$	<u>72.00</u>

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE Edward S. Quigada

ADDRESS 12046 E. FLORENCE AVE.

(THIS PERMIT NOT VALID UNTIL STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

PERMIT NUMBER: 9790 CITY OF EL MONTE BUILDING DEPARTMENT
 Robert E. Worthington
 GENERAL BUILDING INSPECTOR

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 Lower Azusa

NEAREST CROSS ST. Shurley MAP NUMBER 75

FIRE ZONE <u>III</u>	GROUP <u>F-2</u>	TYPE CONST. <u>III-N</u>	SEWER MAP BK _____ PG _____
----------------------	------------------	--------------------------	-----------------------------

USE ZONE M2

FRONT YARD SET BACK <u>50' E of St</u>
SIDE YARD SET BACK <u>X</u>
REAR YARD SET BACK <u>X</u>

SPECIAL CONDITIONS
 (1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.
MB 8577 PG 7 PAR 1

CONSTRUCTION LENDER

NAME: _____

BRANCH: NONE

ADDRESS: _____

INSPECTION RECORD

Provided Full Damages if required by Code.

APPROVALS

	DATE	INSPECTOR'S SIGNATURE	
FOUNDATION: LOCATION FORMS, MATERIALS		/	
ROOFING OR DIAPHRAGM			
FRAME: FIRE STOPS BRACING, BOLTS			
FURNACE: LOCATION GAS VENT, DUCTS			
LATH: INT.			
LATH: EXT.			
HOUSE NUMBER CORRECT AND POSTED			
FINAL	<u>3-19-70</u>		<u>Orway</u>

1. OFFICE COPY

OCT-14-69 **FREE PAYMENT VALIDATION** • A — I 36.00
 OCT-14-69 20248 • • H — I 36.00

103.003

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA BUILDING DEPARTMENT
11333 East Valley Boulevard • 444-9211 Ext. 57 or 58

FOR APPLICANT TO FILL IN

BUILDING ADDRESS: **10150 LOWER AZUSA ROAD**

LOT NO. **25-31** TRACT NO. **SPIRLEY** BLOCK

SIZE OF LOT **IRREG.** NO. OF BUILDINGS NOW ON LOT **8**

USE OF EXISTING BLDG. **BAKERY WAREHOUSE & LOADING DOCK**

OWNER **VONS GROCERY CO.**

MAIL ADDRESS **(SEE ABOVE)**

CITY **EL MONTE** TEL. NO. **519-1400**

ARCHITECT OR ENGINEER **DONALD R. WARREN** TEL. NO. **626-0101**

ADDRESS **430 W. GUNSET L.A. CA 90012**

CONTRACTOR **E. W. HAHN INC.**

ADDRESS **2311 W. EL SEGUNDO**

CITY **HAWTHORNE** TEL. NO. **757-9151**

STATE LICENSES NO. **159056 BI**

DESCRIPTION OF WORK

NEW **ADD.** ALTER REPAIR DEMOLISH

SQ. FT. **6100** NO. STORIES **1** NO. OF FAMILIES

USE OF PROPOSED STRUCTURE **WAREHOUSE**

SIGNATURE OF APPLICANT *James E. Thompson* **ORW CO**

ADDRESS **430 W. GUNSET BLVD L.A. CA.**

\$	P.C. FEE	\$ 67.50
	PERMIT FEE	\$ 135.00
	BUS. LIC. FEE	\$ 135.00
	EQD FEE	\$ 3.36
	TOTAL	\$ 340.86

VALUATION **48,800**

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE *Shirley B. G. Miller*

ADDRESS **13431 BORDEN SYLMAR CALIF.**

(THIS PERMIT NOT VALID UNTIL STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

9-13-74 (10 2-74)

PERMIT NUMBER: **13575** CITY OF EL MONTE BUILDING DEPARTMENT

R. Worthington

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: **10150 LOWER AZUSA**

NEAREST CROSS ST. **SPIRLEY** MAP NUMBER **75**

FIRE ZONE	GROUP	TYPE CONST.	SEWER MAP BK	PG
III	F2	R-M		

USE ZONE	FRONT YARD SET BACK	SIDE YARD SET BACK	REAR YARD SET BACK
M-2	50'	X	X

SPECIAL CONDITIONS
(1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

BAKERY ADDITION
South Side of Bldg.

ASSESSOR'S INFORMATION

M.B. **8571** PAGE **7** PAR NO. **1**

CONSTRUCTION LENDER

NAME:

BRANCH: **NONE**

ADDRESS:

APPROVALS		
	DATE	INSPECTOR'S SIGNATURE
FOUNDATION: LOCATION POPMS, MATERIALS	11-27-74	<i>[Signature]</i>
ROOFING OR DIAPHRAGM	12-10-74	<i>[Signature]</i> Steel
FRAME: FIRE STOPS BRACING, BOLTS	"	" Fire
FURNACE: LOCATION GAS VENT, DUCTS	<i>Gas vent</i>	
LATH: INT.	<i>NA</i>	
LATH: EXT.	<i>NA</i>	
HOUSE NUMBER CORRECT AND POSTED	<i>NA</i>	
FINAL	4-16-75	<i>[Signature]</i>

EXIT SIGNS

1. OFFICE COPY	JUN-28-74	PAYMENT VALIDATION			
	JUN-28-74	17239	•	•	A - II 202.50
	JUN-28-74	17240	•	•	H - II 135.00
			•	•	G - II 336

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA BUILDING DEPARTMENT
11333 East Valley Boulevard • 444-9211 Ext. 57 or 58

FOR APPLICANT TO FILL IN

BUILDING ADDRESS 10150 LOWER AZUSA RD

LOT NO. **TRACT NO.** **BLOCK**

SIZE OF LOT **NO. OF BUILDINGS NOW ON LOT** 5

USE OF EXISTING BLDG.

OWNER VONS GROCERY W/KE

MAIL ADDRESS 10150 LOWER AZUSA RD.

CITY EL MONTE CAL **TEL. NO.** 574-4000

ARCHITECT OR ENGINEER FACILITIES SYS. **TEL. NO.** 478-0564

ADDRESS 1144 CORNER AVE L.A.

CONTRACTOR COSMO FIRE PROT.

ADDRESS 16306 S. BROADWAY

CITY GARDENA, CAL **TEL. NO.** 321-5155

STATE LICENSES NO. C16-271116

(THIS PERMIT NOT VALID UNTIL STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

PERMIT NUMBER: 13850

11-8-74
CITY OF EL MONTE
BUILDING DEPARTMENT

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 LOWER AZUSA

NEAREST CROSS ST. **MAP NUMBER**

FIRE ZONE III	GROUP F-2	TYPE CONST.	SEWER MAP BK	PG
-------------------------	---------------------	--------------------	---------------------	-----------

USE ZONE M-2

FRONT YARD SET BACK	50' - E 1ST
SIDE YARD SET BACK	X
REAR YARD SET BACK	K

SPECIAL CONDITIONS
(1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

PRODUCE WAREHOUSE
ADDITION OCT.-NOV. 1974

ASSESSOR'S INFORMATION

M.B. PAGE PAR NO.

DESCRIPTION OF WORK

NEW **ADD.** **ALTER.** **REPAIR** **DEMOLISH**

SQ. FT. **NO. STORIES** **NO. OF FAMILIES**

USE OF PROPOSED STRUCTURE: PRODUCE W/KE

SIGNATURE OF APPLICANT *[Signature]*

ADDRESS 16306 S. BROADWAY GARDENA

CONSTRUCTION LENDER

NAME: _____
BRANCH: _____
ADDRESS: _____

\$	P.C. FEE \$ 86.75
	PERMIT FEE \$ 173.50
	BUS. LIC. NOT FEE - 3 REG \$ 505.25
	TOTAL \$ 265.50

VALUATION 71,380.00

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE *[Signature]*

ADDRESS 16306 S. BROADWAY, CAL

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION: LOCATION FORMS, MATERIALS		
ROOFING OR DIAPHRAGM		
FRAME: FIRE STOPS BRACING, BOLTS		
FURNACE: LOCATION GAS VENT, DUCTS		
LATH: INT.		
LATH: EXT.		
HOUSE NUMBER CORRECT AND POSTED		
FINAL	B-16-X	<i>[Signature]</i>

NOV--8-74 **FREE PAYMENT VALIDATION**

1. OFFICE COPY

NOV--8-74 22304

• A - I 260.25
• G - I 5.25

103-003
BLDG #8

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA

MEAT
PROCESSING
BLDG

11333 East Y...
BUILDING DEPARTMENT

APPROVED
8-4-76

FOR APPLICANT TO FILL IN

10150 LOWER AZUSA RD.
25-31 TRACT NO. GIDLEY M.B. PEIRSON BLOCK 21-64
OR 50 ACRES NO. OF BUILDINGS NOW ON LOT 5
BLDG'S GROCERY DISTRIBUTION
VONS GROCERY CO.
10150 LOWER AZUSA RD.
L MONTE TEL. NO. 579-1400
OR DONALD R. WARREN TEL. NO. 626-0101
930 W. SUNSET BLVD, L.A.
OR ERNEST W. HAHN
3311 W. EL SEGUNDO BLVD
SUNTHORNE TEL. NO.
CENSUS NO. B-15096

(THIS PERMIT NOT VALID UNLESS STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

PERMIT NUMBER: 25017 CITY OF EL MONTE BUILDING DEPARTMENT
Robert E. Worthington

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 LOWER AZUSA
NEAREST CROSS ST. SHIRLEY AVE MAP NUMBER 75
FIRE ZONE III GROUP F-2 TYPE CONST. See Plans SEWER MAP BK PG
USE ZONE M-2 FRONT YARD SET BACK 50' & 95' SIDE YARD SET BACK X REAR YARD SET BACK X

SPECIAL CONDITIONS
(1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

WAREHOUSE - NORTH END OF BLDG #8

ASSESSOR'S INFORMATION

M.B. 8577 PAGE 57 PAR NO. 6

DESCRIPTION OF WORK

ADD. ALTER. REPAIR DEMOLISH
4,600 NO. STORIES 1 NO. OF FAMILIES 0
PROPOSED STRUCTURE WAREHOUSE
OF Joseph Porterfield for
930 W. Sunset Donald R. Warren Co.

CONSTRUCTION TENDER

NAME: NONE
BRANCH: Phase I
ADDRESS: Bldg

APPROVALS

FOUNDATION, LOCATION FORMS, MATERIALS	DATE	INSPECTOR'S SIGNATURE
ROOFING OR DIAPHRAGM		
FRAME, FIRE STOPS BRACING, BOLTS		
FURNACE, LOCATION GAS VENT, DUCTS		
LATH: INT.		
LATH: EXT.		
HOUSE NUMBER CORRECT AND POSTED		
FINAL		

P.C. FEE \$ 632.12
PERMIT FEE \$ 972.50
BUS. LIC. FEE \$ 972.50
EQD FEE \$ 38.98
TOTAL \$ 2,616.10

I hereby acknowledge that I have read this application and state that the applicant and I agree to comply with all City Ordinances and State Laws regarding construction.

HAHN BY
Ernest W. Hahn
SAME

DATE	DESCRIPTION	AMOUNT
MAY-10-76	FEE PAYMENT VALIDATION	1,604.62
MAY-10-76		972.50
MAY-10-76		38.98

4:44 PM

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CERTIFICATE OF OCCUPANCY

CITY OF EL MONTE
BUILDING DEPARTMENT

Nº **8969**

11333 Valley Blvd., El Monte • Phone 444-9211, Ext. 57

Approved Date June 17 19 76

THIS IS TO CERTIFY that the premises and/or structures located at

10150 Lower Azusa Road Bldg. 67

El Monte, California, have been inspected and that same complies as of the date hereof, with the regulations of the City of El Monte and provided that the occupant complies with all the ordinances and regulations of the City of El Monte, may be

occupied by Vons Grocery Company

Mailing Address P.O. Box 6938 Terminal Annex, Los Angeles, Ca. 90009

Phone Number: Business 579-1400 Residence _____

For the following use: Credit Union offices, general storage, wood shops & paint storage

Subject to the following conditions: _____

Type of Occupancy E2-E3 Change of Owner

Building Type No. V New Business

Fire Zone No. III New Building

Zone III New Location

NOTE: This certificate shall be posted in a conspicuous place on the premises. This certificate is not transferrable, and must be renewed upon any change of owner or use of the premises.

Form 142-8 Revised

APPROVED
CITY OF EL MONTE
BUILDING DEPARTMENT

By _____
 Chief Building Inspector

This permit not valid unless signed by the authorized member of the Building Department of the City of El Monte.

OFFICE COPY

TYPE OF OCCUPANCY <u>E2 (E2-E3)</u>	BUILDING TYPE <u>V</u>	FIRE ZONE <u>III</u>
COMPLIES WITH CITY CODE REQUIREMENTS	YES OR NO	SIGNATURE
PLANNING DEPARTMENT		
FIRE DEPARTMENT		
BUILDING DEPARTMENT	Yes	R. Worthington 6-16-76

Fee — \$10.00
 No Fee C. Haukenon
 SIGNATURE

FEE PAYMENT VALIDATION

1. BUILDING COPY

3-20-76

Confidential - Not for Distribution
 © Goodman & Estler, P.A.
 270-578-7200
 08/20/2017

103,003

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA
11333 East Valley Boulevard • 444-9211 Ext. 5705

BUILDING DEPARTMENT

Bldg # 1

APPROVED
7-28-76

FOR APPLICANT TO FILL IN

BUILDING ADDRESS 10150 LOWER AZUSA ROAD

LOT NO. _____ TRACT NO. _____ BLOCK _____

SIZE OF LOT _____ NO. OF BUILDINGS NOW ON LOT _____

USE OF EXISTING BLDG. LUNCH ROOM & LOCKERS

OWNER VON'S MARKET COMPANY

MAIL ADDRESS 10150 LOWER AZUSA ROAD

CITY EL MONTE TEL. NO. 579-1400

ARCHITECT OR ENGINEER W. A. C. TEL. NO. 685-4050

ADDRESS 12046 E. FLORENCE AVE., S.F.S.

CONTRACTOR WESTERN ALLIED CORP.

ADDRESS 12046 E. FLORENCE AVE.

CITY SANTA FE SPRINGS TEL. NO. 685-4050

STATE LICENSES NO. 196821 (C-20 & C-36)

DESCRIPTION OF WORK

NEW ADD. ALTER. REPAIR DEMOLISH

SQ. FT. _____ NO. STORIES 2 NO. OF FAMILIES _____

USE OF PROPOSED STRUCTURE air conditioning

SIGNATURE OF APPLICANT Edward S. Quezada

ADDRESS 12046 E. FLORENCE AVE.

\$ <u>5,987.15</u>	P.C. FEE \$ <u>23.40</u>
	PERMIT FEE \$ <u>36.00</u>
	BUS. LIC. FEE \$ <u>36.50</u>
VALUATION <u>E.T.D.</u>	TOTAL \$ <u>95.90</u>

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE Edward S. Quezada

ADDRESS 12046 E. FLORENCE AVE.

(THIS PERMIT NOT VALID UNTIL STATEMENT IS APPROVED BY BUILDING DEPT. AND ALL FEES PAID AND SECURED DEPOSITS MADE)

PERMIT NUMBER: 15218 CITY OF EL MONTE BUILDING DEPARTMENT

Robert E. Worthington

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 Lower Azusa Rd

NEAREST CROSS ST. SHIRLEY MAP NUMBER _____

FIRE ZONE <u>III</u>	GROUP <u>F-2</u>	TYPE CONST. <u>I-N</u>	SEWER MAP BK _____ PG _____
----------------------	------------------	------------------------	-----------------------------

USE ZONE <u>M-2</u>	FRONT YARD SET BACK <u>50' E of ST</u>
	SIDE YARD SET BACK <u>X</u>
	REAR YARD SET BACK <u>X</u>

SPECIAL CONDITIONS (1) Install or guarantee curbs and gutters, sidewalks, driveway aprons and street trees on all street frontages.

M.B. 8575 Pg. 1 PAR. 5

INSPECTION RECORD

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION: LOCATION FORMS, MATERIALS		<u>DC</u>
ROOFING OR DIAPHRAGM		<u>DC</u>
FRAME: FIRE STOPS BRACING, BOLTS		<u>DC</u>
FURNACE: LOCATION GAS VENT, DUCTS		<u>DC</u>
LATH: INT.		<u>DC</u>
LATH: EXT.		<u>DC</u>
HOUSE NUMBER CORRECT AND POSTED		<u>DC</u>
FINAL	<u>8-12-76</u>	<u>BA</u>

Rev.

1. OFFICE COPY

JUL-28-76	47078	• • •	A - II	59.40
JUL-28-76	47079	• • •	H - II	36.00
JUL-28-76	47080	• • •	G - II	0.50

103,003

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA
11333 East Valley Boulevard • 444-9211 Ext. 57 or 58

BLDG # 3

FOR APPLICANT TO FILL IN

BUILDING ADDRESS: 10150 LOWER AZUSA ROAD
 LOT NO. 25-31 TRACT NO. GIDLEY M.B. PEARSON BLOCK 21-64
 SIZE OF LOT 50 ACRES NO. OF BUILDINGS NOW ON LOT 5
 USE OF EXISTING BLDG. BAKERY
 OWNER VONS GROCERY CO.
 MAIL ADDRESS 10150 LOWER AZUSA ROAD
 CITY EL MONTE TEL. NO. 579-1400
 ARCHITECT OR ENGINEER DONALD R. WARREN TEL. NO. 626-0101
 ADDRESS 930 W. SUNSET BLVD., L.A.
 CONTRACTOR DOUBLE A'S INC. 90012
 ADDRESS 977 W. VUL 51, L.A.
 CITY COLUMBUS OHIO TEL. NO. 614
 STATE LICENSES NO. 231-1663-5 CAL
6654 PLAZA DEL REY CAIF

(THIS PERMIT NOT VALID UNTIL STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

PERMIT NUMBER: 15050
 CITY OF EL MONTE BUILDING DEPARTMENT
 THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 LOWER AZUSA
 NEAREST CROSS ST. SHIRLEY MAP NUMBER
 FIRE ZONE III GROUP F-2 TYPE CONST. I-N SEWER MAP BK PG
 USE ZONE M-2 FRONT YARD SET BACK 50' 2 of ST
 SIDE YARD SET BACK X
 REAR YARD SET BACK X
 SPECIAL CONDITIONS
 (1) install or guarantee curbs and gutters, sidewalks, driveway aprones and street trees on all street frontages.
FLOUR STORAGE BINS
 ASSESSOR'S INFORMATION
 M.B. 8575 PAGE 1 PAR NO. 5

NEW ALTER REPAIR DEMOLISH
 SQ. FT. _____ NO. STORIES _____ NO. OF FAMILIES _____
 USE OF PROPOSED STRUCTURE SILOS & TANK
 SIGNATURE OF APPLICANT [Signature]
 ADDRESS 930 SUNSET L.A.

CONSTRUCTION LENDER
 NAME: _____
 BRANCH: NONE
 ADDRESS: _____

\$ 30,000	P.C. FEE \$	82.55
	PERMIT FEE \$	127.00
	BUS. LIC. FEE \$	127.00
	EQD FEE \$	2.10
VALUATION	TOTAL \$	338.65

APPROVALS		
	DATE	INSPECTOR'S SIGNATURE
FOUNDATION: LOCATION FORMS, MATERIALS	<u>See-14965</u>	
ROOFING OR DIAPHRAGM	<u>NA</u>	
FRAME: FIRE STOPS BRACING, BOLTS	<u>2077 9-1476</u>	<u>[Signature]</u>
FURNACE: LOCATION GAS VENT, DUCTS	<u>NA</u>	
LATH: INT.	<u>NA</u>	
LATH: EXT.	<u>NA</u>	
HOUSE NUMBER CORRECT AND POSTED	<u>NA</u>	
FINAL	<u>9-14-76</u>	<u>[Signature]</u>

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.
 SIGNATURE OF PERMITTEE [Signature]
 ADDRESS 8654 TALMOUTH AVE

RWP/ALABEY	MAY-24-76	FEE PAYMENT	VALIDATION	A - II	209.55
1. OFFICE COPY	MAY-24-76	44289		H - II	127.00
	MAY-24-76	44290		C - T	210.00

Bldg #07

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA BUILDING DEPARTMENT
 11333 East Valley Boulevard • 444-9211 Ext. 57 or 58

Service Facility

FOR APPLICANT TO FILL IN

BUILDING ADDRESS: 10150 Lower Azusa

LOT NO. _____ TRACT NO. _____ BLOCK _____

SIZE OF LOT _____ NO. OF BUILDINGS NOW ON LOT _____

USE OF EXISTING BLDG. _____

OWNER: Vons Grocery Company

MAIL ADDRESS: 10150 Lower Azusa Rd., El Monte

CITY: El Monte, Calif. TEL. NO.: 579-1400

ARCHITECT OR ENGINEER: McClellan/Cruz TEL. NO.: 681-8461

ADDRESS: Gaylord & Assoc. 1199 East St. Pasa., Cal.

CONTRACTOR: Ernest W. Hahn, Inc.

ADDRESS: See Back

CITY: _____ TEL. NO. _____

STATE LICENSES NO. _____

DESCRIPTION OF WORK

NEW ADD. ALTER. REPAIR DEMOLISH

SQ. FT. 38,400 NO. STORIES 1 NO. OF FAMILIES _____

USE OF PROPOSED STRUCTURE: Service Facility

SIGNATURE OF APPLICANT: [Signature]

ADDRESS: 234 West El Segundo Blvd

(THIS PERMIT NOT VALID UNLESS STAMPED AND APPROVED BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

APPROVED
8-15-75
CITY OF EL MONTE BUILDING DEPARTMENT

PERMIT NUMBER: 14477

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 Lower Azusa

NEAREST CROSS ST.: Shelly MAP NUMBER _____

FIRE ZONE	GROUP	TYPE CONST.	SEWER MAP BK	PG
<u>TH</u>	<u>R2E-2</u>	<u>III</u>		

USE ZONE: M-2

FRONT YARD SET BACK	<u>50' E of ST</u>
SIDE YARD SET BACK	<u>X</u>
REAR YARD SET BACK	<u>X</u>

SPECIAL CONDITIONS
 (1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

Building #1 Fully sprinkled

ASSESSOR'S INFORMATION
 M.B. 8571 PAGE 7 PAR. NO. 1

CONSTRUCTION LENDER

NAME: Vons Grocery Company

BRANCH: El Monte

ADDRESS: 10150 Lower Azusa Rd., El Monte

\$ 422,000.00

P.C. FEE	\$ 500.50
PERMIT FEE	\$ 770.00
BUS. LIC. FEE	\$ 770.00
EQD. FEE	\$ 29.54
TOTAL	\$ 2070.04

VALUATION

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE: [Signature]

ADDRESS: 234 West El Segundo Blvd

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION: LOCATION FORMS, MATERIALS	<u>8-25-75</u>	<u>[Signature]</u>
ROOFING OR DIAPHRAGM	<u>11-7-75</u>	<u>[Signature]</u>
FRAME, FIRE STOPS BRACING, BOLTS	<u>12-4-75</u>	<u>[Signature]</u>
FURNACE: LOCATION GAS VENT, DUCTS	<u>See 14601</u>	<u>AC Permit</u>
LATH: INT.	<u>12-16-75</u>	<u>[Signature]</u>
LATH: EXT. Toilets	<u>12-16-75</u>	
HOUSE NUMBER CORRECT AND POSTED		
FINAL	<u>9-29-75</u>	<u>[Signature]</u>

1. OFFICE COPY	AUG-15-75	FEE PAYMENT VALIDATION	• A - II	1270.50
	AUG-15-75	33592	• H - II	770.00
	AUG-15-75	33593	• G - II	29.54

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA
11333 East Valley Boulevard • 444-9211 Ext. 57 or 66 • 444-2235

BUILDING DEPARTMENT

FOR APPLICANT TO FILL IN

BUILDING ADDRESS: 10150 Lower Azusa Rd

LOT NO. _____ **TRACT NO.** _____ **BLOCK** _____

SIZE OF LOT _____ **NO. OF BUILDINGS NOW ON LOT** _____

USE OF EXISTING BLDG: Jon's Warehouse

OWNER: Jons Markets

MAIL ADDRESS: 10150 Lower Azusa

CITY: El Monte **TEL. NO.:** _____

ARCHITECT OR ENGINEER: _____ **TEL. NO.:** _____

ADDRESS: _____

CONTRACTOR: B.R. Higbie Inc

ADDRESS: 3729 E. Florence

CITY: Bell Ca **TEL. NO.:** 582.6267

STATE LICENSE NO.: C-61 256 93 0

(THIS PERMIT NOT VALID UNTIL STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

PERMIT NUMBER: CITY OF EL MONTE
15806

Robert Washington

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 Lower Azusa Rd

NEAREST CROSS ST.: Shirley Ave. **MAP NUMBER:** 75

FIRE ZONE	GROUP	TYPE CONST.	SEWER MAP BK	PG
III				

USE ZONE	FRONT YARD SET BACK	SIDE YARD SET BACK	REAR YARD SET BACK
M-2	50' & 1/2	X	X

SPECIAL CONDITIONS
(1) Install or guarantee curbs and gutters, sidewalks, driveway aprons and street trees on all street frontages.

ASSESSOR'S INFORMATION

M.B.: 8577 **PAGE:** 7 **PAR NO.:** 6

CONSTRUCTION LENDER

NAME: _____

BRANCH: _____

ADDRESS: _____

DESCRIPTION OF WORK

NEW **ADD.** **ALTER.** **REPAIR** **DEMOLISH**

SQ. FT. _____ **NO. STORIES** _____ **NO. OF FAMILIES** _____

USE OF PROPOSED STRUCTURE: INSPECTION

SIGNATURE OF APPLICANT: 12,000 GAC Fuel Tank

ADDRESS: BR Higbie Inc

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION: LOCATION FORMS, MATERIALS		
ROOFING OR DIAPHRAGM		
FRAME: FIRE STOPS BRACING, BOLTS		<i>H-72820</i>
FURNACE: LOCATION GAS VENT, DUCTS		
LATH: INT.		
LATH: EXT.		
HOUSE NUMBER CORRECT AND POSTED		
FINAL	4-6-77	<i>H. Higbie</i>

P.C. FEE \$	15.60
PERMIT FEE \$	24.00
BUS. LIC. FEE \$	24.00
EQD FEE \$	0.50
TOTAL \$	64.10

VALUATION: \$ 3000.00

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE: *[Signature]*

ADDRESS: 3729 E. Florence

1. OFFICE COPY

APR-5-77 57336
 APR-5-77 57337
 APR-5-77 57338

EEE PAYMENT VALIDATION

• A - II	39.60
• H - II	24.00
• G - II	0.50

Blldg #8

APPLICATION FOR BUILDING PERMIT

W.C.C.O

CITY OF EL MONTE, CALIFORNIA
11333 East Valley Boulevard

BUILDING DEPARTMENT
444-9211 Ext. 57 or 58

Meat Plant
FOR APPLICANT TO FILL IN

BUILDING ADDRESS: 10150 LOWER AZUSA ROAD

LOT NO. _____ TRACT NO. _____ BLOCK _____

SIZE OF LOT _____ NO. OF BUILDINGS NOW ON LOT _____

USE OF EXISTING BLDG. NEW BLDG. (MEAT PACKAGING)

OWNER: YON'S GROCERY COMPANY

MAIL ADDRESS: 10150 LOWER AZUSA ROAD

CITY: EL MONTE, CALIF TEL NO. 443-6785

ARCHITECT OR ENGINEER: DONALD B. WARREN TEL NO. 90012

ADDRESS: 930 W. SUNSET BLVD. L.A.

CONTRACTOR: WESTERN ALLIED CORP.

ADDRESS: 12046 E. FLORENCE AVE.

CITY: SANTA FE SPRINGS TEL NO. 685-4050

STATE LICENSE NO. 198821, TYPE: C-20-#

(THIS PERMIT NOT VALID UNLESS IT IS FIRST APPROVED BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

PERMIT NUMBER: 15833
CITY OF EL MONTE BUILDING DEPARTMENT
Robert C. Cunningham

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 Lower Azusa Rd.

NEAREST CROSS ST.: SHIRLEY

FIRE ZONE	GROUP	TYPE CONST.	SEWER MAP BK	PG
III	F-2	II-M		

USE ZONE: M2

FRONT YARD SET BACK: 50' E of ST

SIDE YARD SET BACK: X

REAR YARD SET BACK: X

SPECIAL CONDITIONS
(1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.
Heating & air-conditioning office only W.C.C.O. ARS

ASSESSOR'S INFORMATION
M.B. 8575 PAGE 1 PAR NO. 5

DESCRIPTION OF WORK

NEW ADD. ALTER. REPAIR DEMOLISH

SQ. FT. _____ NO. STORES 2 NO. OF FAMILIES _____

USE OF PROPOSED STRUCTURE: MEAT PACKAGING

SIGNATURE OF APPLICANT: *Edward S. Quesada*

ADDRESS: 12046 E. FLORENCE AVE.

CONSTRUCTION LENDER

NAME: _____

BRANCH: *Ch W Row M*

ADDRESS: *Meat Processing Plant*

\$89,000.00
P.C. FEE PAID BY OTHERS

P.C. FEE \$ ~~NOT PAID~~ 172.25

PERMIT FEE \$ 265.00

BUS. LIC. FEE \$ GEN. CONTR.

EQU FEE \$ 6.30

TOTAL \$ 443.55

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE: *Edward S. Quesada*
ADDRESS: 12046 E. FLORENCE AVE.

APPROVALS	DATE	INSPECTOR'S SIGNATURE
FOUNDATION, LOCATION FORMS, MATERIALS		
ROOFING OR DIAPHRAGM FRAME, FIRE STOPS BRACING, BOLTS		<i>Ingrated</i>
FURNACE, LOCATION GAS VENT, DUCTS		<i>& approved</i>
LATH: INT.		
LATH: EXT.		
HOUSE NUMBER CORRECT AND POSTED		
FINAL		<i>Qu</i>

1. OFFICE COPY

APR-15-77 57642 • FEE PAYMENT VALIDATION • A - II 437.25

APR-15-77 57643 • • • G - II 6.30

ed

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA BUILDING DEPARTMENT
11333 East Valley Boulevard • 575-2235

WCCO
4980

FOR APPLICANT TO FILL IN

BUILDING ADDRESS 10150 Lower Azusa

LOT NO. **TRACT NO.** **BLOCK**

SIZE OF LOT **NO. OF BUILDINGS NOW ON LOT**

USE OF EXISTING BLDG. WAREHOUSE

OWNER VON'S GROCERY CO.

MAIL ADDRESS 10150 Lower Azusa

CITY EL MONTE **TEL. NO.** 579-1400

ARCHITECT OR ENGINEER **TEL. NO.**

ADDRESS

CONTRACTOR G.W. Maintenance

ADDRESS 1061 E. 6th St.

CITY SANTA ANA, CAL. **TEL. NO.** 714-542-8726

STATE LICENSES NO. C-61 273397

(THIS PERMIT NOT VALID UNTIL SHOWN AS APPROVED BY BUILDING DEPT. AND ALL FEES AND TAXES REQUIRED DEPOSITS MADE)

APPROVED

PERMIT NUMBER: 18140

7-11-79
CITY OF EL MONTE
BUILDING DEPARTMENT

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 Lower Azusa

NEAREST CROSS ST. Shirley **EMAP NUMBER** 75

FIRE ZONE 711-1	GROUP	TYPE CONST.	SEWER MAP BK PG
---------------------------	--------------	--------------------	------------------------

USE ZONE II	FRONT YARD SET BACK	
	SIDE YARD SET BACK	
	REAR YARD SET BACK	

SPECIAL CONDITIONS
(1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

1830 7/10/79

ASSESSOR'S INFORMATION

M.B. 8571 **PAGE** 7 **PAR NO.** 152.00

1830 7/10/79

CONSTRUCTION LENDER

NAME: NONE

BRANCH: 1830 3

ADDRESS:

DESCRIPTION OF WORK

<input checked="" type="checkbox"/> NEW	<input type="checkbox"/> ADD.	<input type="checkbox"/> ALTER.	<input type="checkbox"/> REPAIR	<input type="checkbox"/> DEMOLISH
---	-------------------------------	---------------------------------	---------------------------------	-----------------------------------

SQ. FT. **NO. STORIES** **NO. OF FAMILIES**

5000 Gal Gas Tank, pumps, & Islands

USE OF PROPOSED STRUCTURE including piping.

SIGNATURE OF APPLICANT

ADDRESS 10150 Lower Azusa

\$ 10,000.00

P.C. FEE	\$ 67.00
PERMIT FEE	\$ 104.00
BUS. LIC. FEE	\$ 52.00
EQD FEE	\$ 70.00
TOTAL	\$ 224.30

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE *[Signature]*

ADDRESS 1061 E. 6th St. SANTA ANA CAL.

APPROVALS

FOUNDATION, LOCATION FORMS, MATERIALS	DATE	INSPECTOR'S SIGNATURE
ROOFING OR DIAPHRAGM		
FRAME, FIRE STOPS BRACING, BOLTS		
FURNACE, LOCATION GAS VENT DUCTS		
LATH: INT. TANKS	7-20-79	Brown
INSULATION	8-1-80	Brown
LATH: INT.		
HOUSE NUMBER CORRECT AND POSTED		
FINAL	8-14-89	Brown

FEE PAYMENT VALIDATION

1. OFFICE COPY

[Signature]

foundation of Block Lifts
on other permit: see
C85UNSL JR1
10-9-79

pad 9-8-79 soil
Roof L¹ p¹ by condensation
2-6-8

T. out 2-12-80

Roof Shunting 2-7-80
from slab steel 2-1-80

7/3/80 Amoria piping for Bakery refrigeration
OK 300 psc high side, 145 psc
low side

9/22/80 seal all holes tight in drift stop above mezzanine
ceiling FINISH T-BAR ceiling tiles
FINISH DOOR JAM see notice. de Montmoency

BLDG.
#3 BAKERY

(Walt)

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA BUILDING DEPARTMENT
11333 East Valley Boulevard • 575-2235

WCCO
1-1-80

FOR APPLICANT TO FILL IN

BUILDING ADDRESS: 10150 LOWER AZUSA

LOT NO. 284 TRACT NO. SHIRLEY BLOCK ---

SIZE OF LOT _____ NO. OF BUILDINGS NOW ON LOT _____

USE OF EXISTING BLDG. WAREHOUSE

OWNER VON'S GROCERY CO.

MAIL ADDRESS 10150 LOWER AZUSA

CITY EL MONTE TEL. NO. 574-400

ARCHITECT OR ENGINEER D. WARREN TEL. NO. 626-0101

ADDRESS 930 W. SUNSET, LA

CONTRACTOR UNKNOWN - ERNEST W.

ADDRESS HAW INC 200 CONTINENTAL BLVD

CITY EL SEGUNDO CA TEL. NO. 772-4200

STATE LICENSES NO. B 159056

DESCRIPTION OF WORK

NEW _____ ADD. ALTER. _____ REPAIR _____ DEMOLISH _____

SQ. FT. 16,400 NO. STORIES 1 NO. OF FAMILIES _____

USE OF PROPOSED STRUCTURE WAREHOUSE

SIGNATURE OF APPLICANT [Signature]

ADDRESS 930 W. SUNSET, LA

APPROVED

(THIS PERMIT NOT VALID UNLESS APPROVED BY BUILDING DEPT. CAPITAL FEES PAID AND REQUIRED DEPOSITS MADE)

6-4-79

PERMIT NUMBER: CITY OF EL MONTE 17691

BUILDING DEPARTMENT
De Waal

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 LOWER AZUSA

NEAREST CROSS ST. SHIRLEY MAP NUMBER 75

FIRE ZONE	GROUP	TYPE CONST.	SEWER MAP BK	PG
<u>M-1</u>	<u>B-2</u>	<u>I-M</u>		

USE ZONE _____ FRONT YARD SET BACK 40' & OF ST

LI SIDE YARD SET BACK X

REAR YARD SET BACK X

SPECIAL CONDITIONS
(1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

SEE BOOK 5307 3/01/79 2580.60

ASSESSOR'S INFORMATION

M.B. 8571 PAGE 7 PAR NO. 1

CONSTRUCTION LENDER

NAME: NONE 5307 3/01/79 3385.70

BRANCH: _____ 3385.70

ADDRESS: _____ 5307 3 3/01

\$ <u>330,000</u>	P.C. FEE	\$ 1016.60
	PERMIT FEE	\$ 1564.00
	BUS. LIC. FEE	\$ 782.00
	EQD FEE	\$ 23.10
	TOTAL	\$ 3385.70

VALUATION

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE [Signature]

ADDRESS 930 W. SUNSET, LA

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION, LOCATION FORMS, MATERIALS	<u>7-3-79</u>	<u>[Signature]</u>
ROOFING OR DIAPHRAGM	<u>5/24</u>	<u>[Signature]</u>
FRAME, FIRE STOPS BRACING, BOLTS		
FURNACE, LOCATION GAS VENT DUCTS		
LATH: EXT.		
INSULATION		
LATH: INT.		
HOUSE NUMBER CORRECT AND POSTED		
FINAL	<u>3/18/80</u>	<u>[Signature]</u>

FEE PAYMENT VALIDATION

ch
1. OFFICE COPY

PM
LC
LC
TX
TL
TD
CG

Behind Bakery Bldg

WCCO
1-1-80

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA BUILDING DEPARTMENT
11333 East Valley Boulevard • 575-2235

APPROVED
6-15-79

FOR APPLICANT TO FILL IN

BUILDING ADDRESS: 10150 Lower Azusa
 LOT NO. 38-48 TRACT NO. 512-200-001
 SIZE OF LOT _____ NO. OF BUILDINGS NOW ON LOT 8
 USE OF EXISTING BLDG. OFFICE - WAREHOUSE
 OWNER VON'S GROCERY
 MAIL ADDRESS 10150 LOWER AZUSA
 CITY EL MONTE TEL. NO. 579-1444
 ARCHITECT OR ENGINEER WARREN TEL. NO. 626-2001
 ADDRESS 930 W. SUNSET LA
 CONTRACTOR UNKNOWN E.W. HAHN
 ADDRESS 200 CONTINENTAL BLVD
 CITY EL SEGUNDO TEL. NO. 772-4200
 STATE LICENSES NO. R 159056

(THIS PERMIT NOT VALID UNTIL STAMPED APPROVED BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

PERMIT NUMBER: 17775 CITY OF EL MONTE BUILDING DEPARTMENT
By DeWanda

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 Lower Azusa
 NEAREST CROSS ST. SHIRLEY MAP NUMBER 75
 FIRE ZONE II GROUP B-2 TYPE CONST. TIL-H SEWER MAP BK PG
 USE ZONE M-1 FRONT YARD SET BACK 40' E of ST
 SIDE YARD SET BACK X
 REAR YARD SET BACK X

SPECIAL CONDITIONS (1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.
6328 3/22/79
19,500 13,256 3/23/80
OF M B Z Z A N I N E S R O R T

ASSESSOR'S INFORMATION

M.B. 8571 PAGE 7/22/79 PAR. NO. 2513.10

DESCRIPTION OF WORK

NEW ADD. ALTER. REPAIR DEMOLISH
 SQ. FT. 19,500 NO. STORIES 1 NO. OF FAMILIES _____
 USE OF PROPOSED STRUCTURE WAREHOUSE
 SIGNATURE OF APPLICANT Walt Gutter
 ADDRESS 200 CONTINENTAL BLVD, EL SEGUNDO

CONSTRUCTION LENDER

NAME: NONE
 BRANCH: Sea Breeze
 ADDRESS: _____

\$	P.C. FEE	\$ 763.10
	PERMIT FEE	\$ 1174.00
	BUS. LIC. FEE	\$ 589.00
	EQD FEE	\$ 21.00
VALUATION	TOTAL \$	2545.10

300,000

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION, LOCATION FORMS, MATERIALS		
ROOFING OR DIAPHRAGM		
FRAME, FIRE STOPS BRACING, BOLTS		
FURNACE, LOCATION GAS VENT DUCTS		
LATH; EXT.		
INSULATION		
LATH; INT.		
HOUSE NUMBER CORRECT AND POSTED		
FINAL		

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE Walt Gutter
 ADDRESS 4916 W 123 PL, HAWTHORNE

FEE PAYMENT VALIDATION

1. OFFICE COPY

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA BUILDING DEPARTMENT
11333 East Valley Boulevard • 575-2235

Weeo
1-1-81

FOR APPLICANT TO FILL IN

BUILDING ADDRESS 10150 LOWER AZUSA RD

LOT NO. TRACT NO. BLOCK

SIZE OF LOT NO. OF BUILDINGS NOW ON LOT 6

USE OF EXISTING BLDG. WAREHOUSE

OWNER WONS GROCERY CO.

MAIL ADDRESS 10150 LOWER AZUSA RD.

CITY EL MONTE TEL. NO. 579-1500

ARCHITECT OR ENGINEER GEORGE M. MURPHY TEL. NO. 795-8047

ADDRESS 2424 E. WALNUT ST.

CONTRACTOR E.W. HAHN INC.

ADDRESS 280 CENTINENTAL BLVD

CITY EL SEGUNDO TEL. NO. 772-4200

STATE LICENSES NO. 159056

DESCRIPTION OF WORK

NEW **ADD.** ALTER. REPAIR DEMOLISH

SQ. FT. 1500 NO. STORIES 2 NO. OF FAMILIES

USE OF PROPOSED STRUCTURE WAREHOUSE
SMALL ROOM

SIGNATURE OF APPLICANT George M. Murphy

ADDRESS 2424 E. Walnut St
Pasadena, Calif.

\$ 42,000.00

P.C. FEE \$ 211.90

PERMIT FEE \$ 326.00

BUS. LIC. FEE \$ 163.00

EQD FEE \$ 2.94

TOTAL \$ 703.84

VALUATION

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE George M. Murphy

ADDRESS 2424 E. Walnut St
Pasadena Ca 91107

(THIS PERMIT NOT VALID UNTIL STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

APPROVED
5-30-80

PERMIT NUMBER: 19217 CITY OF EL MONTE
BUILDING DEPARTMENT

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 LOWER AZUSA RD

NEAREST CROSS ST. ARDEN MAP NUMBER

FIRE ZONE	GROUP	TYPE CONST.	SEWER MAP BK	PG
<u>III</u>	<u>F-2</u>	<u>V-N</u>		

USE ZONE	FRONT YARD SET BACK	SIDE YARD SET BACK	REAR YARD SET BACK
<u>M-2</u>			

SPECIAL CONDITIONS
(1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

7911 5/30/80 537.90

7911 5/30/80 60.00

ASSESSOR'S INFORMATION

M.B. 8571 PAGE 730/80 PAR NO. 1

CONSTRUCTION LENDER

NAME: 7911 5/30

BRANCH: .8

ADDRESS:

APPROVALS

FOUNDATION, LOCATION FORMS, MATERIALS	DATE	INSPECTOR'S SIGNATURE
<u>Steel OK</u>	<u>6/18/80</u>	<u>George M. Murphy</u>

ROOFING OR DIAPHRAGM	DATE	INSPECTOR'S SIGNATURE
	<u>7/18/80</u>	<u>George M. Murphy</u>

LATH: EXT.

INSULATION

LATH: INT. 7/18 George M. Murphy

HOUSE NUMBER CORRECT AND POSTED

FINAL 12-15-80 George M. Murphy

FEE PAYMENT VALIDATION

1. OFFICE COPY

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA
 11333 East Valley Boulevard • 444-9211 Ext. 57 or 58

BUILDING DEPARTMENT

BAKERY ADDITION FOR APPLICANT TO FILL IN

BUILDING ADDRESS 10150 Lower Azusa Rd.

LOT NO. _____ TRACT NO. _____ BLOCK _____

SIZE OF LOT _____ NO. OF BUILDINGS NOW ON LOT _____

USE OF EXISTING BLDG. Bakery

OWNER Vons Grocery

MAIL ADDRESS 10150 Lower Azusa Rd.

CITY EL Monte TEL. NO. _____

ARCHITECT/ENGINEER RALD E. MUNIER TEL. NO. 795-8042

ADDRESS Ango Fire Protection Inc.

ADDRESS 19523 S. Susana Rd.

CITY Compton TEL. NO. 637-2100

STATE LICENSES NO. 290204

DESCRIPTION OF WORK

NEW ADD. ALTER. _____ REPAIR _____ DEMOLISH _____

SQ. FT. _____ NO. STORIES _____ NO. OF FAMILIES _____

USE OF PROPOSED STRUCTURE Bakery

SIGNATURE OF APPLICANT Kandy Howell

ADDRESS _____

\$ 26,988

P.C. FEE	\$ 153.40
PERMIT FEE	\$ 236.00
BUS. LIC. FEE	\$
EQD FEE	\$ 1.89
TOTAL	\$ 391.29

VALUATION

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE Kandy Howell

ADDRESS 19523 S. Susana Rd.

(THIS PERMIT NOT VALID UNTIL STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

PERMIT NUMBER: 20052 3/31/81

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: _____

NEAREST CROSS ST. Phuley MAP NUMBER _____

FIRE ZONE	GROUP	TYPE CONST.	SEWER MAP BK	PG
<u>III</u>	<u>F-2</u>	<u>V-II</u>		

USE ZONE M-2

FRONT YARD SET BACK	
SIDE YARD SET BACK	
REAR YARD SET BACK	

SPECIAL CONDITIONS
 (1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

ASSESSOR'S INFORMATION

M.B. 8571 PAGE 7 PAR NO. 1

CONSTRUCTION LENDER

NAME: _____
 BRANCH: _____
 ADDRESS: _____

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION: LOCATION FORMS, MATERIALS		
ROOFING OR DIAPHRAGM		
FRAME: FIRE STOPS BRACING, BOLTS		
FURNACE: LOCATION GAS VENT, DUCTS		
LATH: INT.		
LATH: EXT.		
HOUSE NUMBER CORRECT AND POSTED		
FINAL		

FEE PAYMENT VALIDATION

fire prevention

W.C.C.

APPLICATION FOR BUILDING PERMIT 1-1-81

CITY OF EL MONTE, CALIFORNIA BUILDING DEPARTMENT
11333 East Valley Boulevard • 575-2235

FOR APPLICANT TO FILL IN

BUILDING ADDRESS: 10150 LOWER AZUSA RD.

LOT NO. TRACT NO. BLOCK

SIZE OF LOT NO. OF BUILDINGS NOW ON LOT

USE OF EXISTING BLDG.

OWNER: VONS GROCERY CO

MAIL ADDRESS: 10150 LOWER AZUSA RD.

CITY: EL MONTE TEL. NO.: 579-1400

ARCHITECT OR ENGINEER: GERALD MUNIER TEL. NO.: 795-8047

ADDRESS: 2424 E. WALNUT PASADENA

CONTRACTOR: E. W. HAHN

ADDRESS: 200 CONTINENTAL BLVD

CITY: EL SEGUUNDO TEL. NO.: 772-4200

STATE LICENSES NO.: 159056

(THIS PERMIT NOT VALID UNTIL STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

APPROVED
5-13-81 204.10
CITY OF EL MONTE BUILDING DEPARTMENT 4.00
J. De Waard, M.E.

PERMIT NUMBER: 19470

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 Lower Azusa Road

NEAREST CROSS ST.: Shirley Avenue MAP NUMBER: 75

FIRE ZONE: <u>III</u>	GROUP	TYPE CONST.	SEWER MAP BK PG
-----------------------	-------	-------------	-----------------

USE ZONE: M-2

FRONT YARD SET BACK	
SIDE YARD SET BACK	
REAR YARD SET BACK	

SPECIAL CONDITIONS
(1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

ASSESSOR'S INFORMATION

M.B. 8575 PAGE 1 PAR NO. 5

DESCRIPTION OF WORK

NEW ADD. ALTER. REPAIR DEMOLISH

SQ. FT. 200 NO. STORIES 1 NO. OF FAMILIES

USE OF PROPOSED STRUCTURE: FORK LIFT BLDG

SIGNATURE OF APPLICANT: Gerald E. Munier

ADDRESS: 2424 E. WALNUT PASADENA

CONSTRUCTION LENDER

NAME: _____

BRANCH: _____

ADDRESS: _____

\$	P.C. FEE	\$ 204.10
	PERMIT FEE	\$ 314.00
	BUS. LIC. FEE	\$ 157.00
	EQU. FEE	\$ 2.80
	TOTAL	\$ 677.90

VALUATION: 40,000

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION, LOCATION FORMS, MATERIALS	5-12-81	<u>J. De Waard</u>
ROOFING OR DIAPHRAGM		
FRAME, FIRE STOPS BRACING, BOLTS		
FURNACE, LOCATION GAS VENT DUCTS		
LATH: EXT.		
INSULATION		
LATH: INT.		
HOUSE NUMBER CORRECT AND POSTED		

FINAL 5-13-81 J. De Waard

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE: Gerald E. Munier

ADDRESS: 2424 E. Walnut St Pasadena

FEE PAYMENT VALIDATION

1. OFFICE COPY

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA
BUILDING DEPARTMENT

11333 East Valley Boulevard • Phone 575-2235

218.40 PM

PAYMENT/VALIDATION

168.00 LC
1.26 TX
723.66 TL
723.66 CTD
7/28/81
•000000

FOR APPLICANT TO FILL IN

BUILDING ADDRESS 10150 Lower Azusa Rd El Monte

LOT NO. _____ TRACT NO. _____ BLOCK _____

SIZE OF LOT _____ NO. OF BUILDINGS NOW ON LOT 8

USE OF EXISTING BLDG. 51 ab

OWNER VONS Grocery Co.

MAIL ADDRESS P.O. Box 3338 T. Annex L.A.

CITY L.A. 90051 TEL. NO. _____

ARCHITECT OR ENGINEER _____ TEL. NO. _____

ADDRESS _____

CONTRACTOR MARZOLA Construction Co

ADDRESS 12110 Leafwood St.

CITY STARBURG TEL. NO. 6365080

STATE LICENSES NO. 365180

DESCRIPTION OF WORK

NEW ADD. ALTER. REPAIR DEMOLISH

SQ. FT. 1600 NO. STORIES _____ NO. OF FAMILIES _____

USE OF PROPOSED STRUCTURE Truck Wash Shop

SIGNATURE OF APPLICANT Hugo Charrola

ADDRESS _____

\$ DBL. Fee	P.C. FEE \$ 218.40
18,000	PERMIT FEE \$ 336.00
	BUS. LIC. FEE \$ 168.00
	EQD FEE \$ 1.26
VALUATION	TOTAL \$ 723.66

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE Hugo Charrola

ADDRESS _____

(THIS PERMIT NOT VALID UNTIL STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

PERMIT NUMBER: 20382

7/28/81
CITY OF EL MONTE

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 Lower Azusa

NEAREST CROSS ST. Shirley Ave MAP NUMBER 75

FIRE ZONE <u>III</u>	GROUP <u>M</u>	TYPE CONST. <u>U</u>	SEWER MAP BK _____ PG _____
----------------------	----------------	----------------------	-----------------------------

USE ZONE <u>M-2</u>	FRONT YARD SET BACK _____
	SIDE YARD SET BACK _____
	REAR YARD SET BACK _____

SPECIAL CONDITIONS
(1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

ASSESSOR'S INFORMATION

M.B. 8571 PAGE 7 PAR NO. 1

FINAL APPROVAL

PLANNING DEPT. _____	DATE: _____
FIRE DEPT. _____	DATE: _____
PUBLIC WORKS: _____	DATE: _____

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION, LOCATION FORMS, MATERIALS		
ROOFING OR DIAPHRAGM		
FRAME, FIRE/STOPS BRACING, BOLTS		
FURNACE: LOCATION GAS VENT DUCTS		
LATH: EXT.		
INSULATION		
LATH: INT.		
HOUSE NUMBER CORRECT AND POSTED		
FINAL		

Completed
[Signature]

APPLICATION FOR BUILDING PERMIT
 CITY OF EL MONTE, CALIFORNIA BUILDING DEPARTMENT
 11333 East Valley Boulevard • 575-2235

Wced
 10-1-81

FOR APPLICANT TO FILL IN

BUILDING ADDRESS: 10150 Lower Azusa Rd.

LOT NO. TRACT NO. BLOCK

SIZE OF LOT NO. OF BUILDINGS NOW ON LOT

USE OF EXISTING BLDG. Garage Offices

OWNER Vons Grocery

MAIL ADDRESS 10150 Lower Azusa Rd

CITY El Monte TEL. NO. 571-1400

ARCHITECT OR ENGINEER Gerald M. ... 745 8047

ADDRESS 2454 E Wall St Pasadena

CONTRACTOR Jack Malan Inc.

ADDRESS 607 Airport

CITY El Segundo TEL. NO. 772 4921

STATE LICENSES NO. 984812

(THIS PERMIT NOT VALID UNTIL STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

PERMIT NUMBER: 56010431-80
 CITY OF EL MONTE
 BUILDING DEPARTMENT

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 Lower Azusa Road

NEAREST CROSS ST. Shirley MAP NUMBER 75

FIRE ZONE <u>III</u>	GROUP <u>B-2</u>	TYPE CONST. <u>V</u>	SEWER MAP BK PG
-------------------------	---------------------	-------------------------	-----------------

USE ZONE M-2

FRONT YARD SET BACK	
SIDE YARD SET BACK	
REAR YARD SET BACK	

SPECIAL CONDITIONS
 (1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

DESCRIPTION OF WORK

NEW ADD. ALTER. REPAIR DEMOLISH

SQ. FT. 696 NO. STORIES 2 NO. OF FAMILIES

USE OF PROPOSED STRUCTURE Offices

SIGNATURE OF APPLICANT J. ...

ADDRESS 607 Airport

ASSESSOR'S INFORMATION

M.B. 8575 PAGE 1 PAR NO. 5

CONSTRUCTION LENDER

NAME: _____

BRANCH: _____

ADDRESS: _____

\$	P.C. FEE \$	<u>135.00</u>
	PERMIT FEE \$	<u>208.00</u>
	BUS. LIC. FEE \$	<u>104.00</u>
	EQD FEE \$	<u>1.58</u>
	TOTAL \$	<u>448.58</u>

VALUATION 22600

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION, LOCATION FORMS, MATERIALS	<u>11-18-80</u>	<u>J. ...</u>
ROOFING OR DIAPHRAGM		
FRAME, FIRE STOPS BRACING, BOLTS		
FURNACE, LOCATION GAS VENT DUCTS		
LATH: EXT.		
INSULATION	<u>1-9-81</u>	<u>J. ...</u>
LATH: INT.	<u>2-12-81</u>	<u>J. ...</u>
HOUSE NUMBER CORRECT AND POSTED		
FINAL	<u>6-15-82</u>	<u>J. ...</u>

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE X Lu Subitart

ADDRESS 607 LAIRPORT ST.

M.L. EL SEGUNDO
 1. OFFICE COPY

FEE PAYMENT VALIDATION
Completed

1. OFFICE COPY

W.C.C.
103,003-10-1-81

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA
BUILDING DEPARTMENT

11333 East Valley Boulevard • Phone 575-2235

PAYMENT VALIDATION

FOR APPLICANT TO FILL IN

BUILDING ADDRESS: 10150 LOWER AZUSA RD.

LOT NO. _____ TRACT NO. _____ BLOCK _____

SIZE OF LOT _____ NO. OF BUILDINGS NOW ON LOT: 8

USE OF EXISTING BLDG.: OFFICE & WAREHOUSE

OWNER: VONS GROCERY CO.

MAIL ADDRESS: 10150 LOWER AZUSA RD

CITY: EL MONTE TEL. NO.: 575-1400

ARCHITECT OR ENGINEER: GERALD MUNIER TEL. NO.: 795-8097

ADDRESS: 2424 E. WALNUT ST.

CONTRACTOR: JACK MALVEN

ADDRESS: 607 LAIRPORT ST.

CITY: EL SEGUNDO TEL. NO.: 772-4821

STATE LICENSES NO.: 289862

DESCRIPTION OF WORK

NEW ADD. ALTER. REPAIR DEMOLISH

SQ. FT. 3000 NO. STORIES 1 NO. OF FAMILIES _____

USE OF PROPOSED STRUCTURE: ROOF SHELTER

SIGNATURE OF APPLICANT: Gerald E. Munier

ADDRESS: 2424 E. Walnut St. Pasadena

P.C. FEE	\$ 245.00
PERMIT FEE	\$ 378.00
BUS. LIC. FEE	\$ 189.00
EQD FEE	\$ 3.57
TOTAL	\$ 816.27

VALUATION: \$ 51,000.00

James R. Bepko
W.C.C.
Jack Malven Inc.

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE: Gerald E. Munier

ADDRESS: 2424 E. Walnut St. Pasadena

(THIS PERMIT NOT VALID UNTIL STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

PERMIT NUMBER: 20183
CITY OF EL MONTE BUILDING DEPARTMENT

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 LOWER AZUSA

NEAREST CROSS ST: SHARLEY MAP NUMBER 75

FIRE ZONE: III	GROUP: B-2	TYPE CONST.: I-N	SEWER MAP BK: _____ PG: _____
----------------	------------	------------------	-------------------------------

USE ZONE: M-2	FRONT YARD SET BACK: 50' E of S*
	SIDE YARD SET BACK: X
	REAR YARD SET BACK: X

SPECIAL CONDITIONS
(1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

ROOF SHELTER FOR PALLET STORAGE

ASSESSOR'S INFORMATION

M.B.: 8571 PAGE 7 PAR-NO. 1

FINAL APPROVAL

PLANNING DEPT.	DATE:
FIRE DEPT.	DATE:
PUBLIC WORKS:	DATE:

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION, LOCATION FORMS, MATERIALS	7-2-81	J. DeMontmorency
ROOFING OR DIAPHRAGM	7-24-81	J. DeMontmorency
FRAME, FIRE STOPS BRACING, BOLTS	7-28-81	J. DeMontmorency
FURNACE, LOCATION GAS VENT DUCTS	NA	
LATH: EXT.	7-30-81	J. DeMontmorency
INSULATION	OK	
LATH: INT.	7-30-81	J. DeMontmorency
HOUSE NUMBER CORRECT AND POSTED	Completed 6/30/81	J. DeMontmorency

1. OFFICE COPY

W.C.
10-1-81

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA
BUILDING DEPARTMENT

11333 East Valley Boulevard • Phone 575-2235

PAYMENT VALIDATION

6727	5/18/81	88.40	PM
6727	5/18/81	136.00	PM
6727	5/18/81	68.00	LC

FOR APPLICANT TO FILL IN

BUILDING ADDRESS 10150 Lower Azusa Rd

LOT NO. — TRACT NO. — BLOCK

SIZE OF LOT — NO. OF BUILDINGS NOW ON LOT 8

USE OF EXISTING BLDG. OFFICE + Warehouse

OWNER WONS GROCERY Co.

MAIL ADDRESS 10150 Lower Azusa Rd.

CITY EL MONTE TEL. NO. 379-1400

ARCHITECT OR ENGINEER ERRALD TEL. NO. 745-8047

ADDRESS 2424 E. Walnut St. Pasadena

CONTRACTOR JAC KAMA LUMI INC.

ADDRESS 607 LAIRPORT ST.

CITY EL SECONDO TEL. NO. 772-4821

STATE LICENSES NO. 289862

DESCRIPTION OF WORK

NEW ADD. ALTER. REPAIR DEMOLISH

SQ. FT. 8208 NO. STORIES 1 NO. OF FAMILIES

USE OF PROPOSED STRUCTURE TRUCK TRAIL CHANGE

SIGNATURE OF APPLICANT James R. [Signature]

ADDRESS 607 LAIRPORT

\$	P.C. FEE	\$	88.40
	PERMIT FEE	\$	136.00
	BUS. LIC. FEE	\$	68.00
	EQD FEE	\$	98
	VALUATION	TOTAL \$	293.38

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE [Signature]

ADDRESS 607 LAIRPORT EL SECONDO

(THIS PERMIT NOT VALID UNTIL STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

PERMIT NUMBER: 2018
CITY OF EL MONTE
BUILDING DEPARTMENT
L. de Weerd

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 10150 Lower Azusa

NEAREST CROSS ST. Shirley MAP NUMBER 75

FIRE ZONE	GROUP	TYPE CONST.	SEWER MAP BK	PG
<u>III</u>	<u>M</u>	<u>V-N</u>		

USE ZONE	FRONT YARD SET BACK	<u>50 ft of St.</u>
<u>M-2</u>	SIDE YARD SET BACK	<u>X</u>
	REAR YARD SET BACK	<u>X</u>

SPECIAL CONDITIONS
(1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

ASSESSOR'S INFORMATION

M.B. 8575 PAGE 1 PAR NO. 5

FINAL APPROVAL

PLANNING DEPT.	DATE:
FIRE DEPT.	DATE:
PUBLIC WORKS:	DATE:

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION, LOCATION FORMS, MATERIALS	<u>7-2-81</u>	<u>[Signature]</u>
ROOFING OR DIAPHRAGM		
FRAME, FIRE STOPS BRACING, BOLTS	<u>12-14-81</u>	<u>[Signature]</u>
FURNACE, LOCATION GAS VENT DUCTS		
LATH: EXT.		
INSULATION		
LATH: INT.		
HOUSE NUMBER CORRECT AND POSTED		
FINAL	<u>6-15-82</u>	<u>[Signature]</u>

1. OFFICE

W.C. 9-1-83

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA
BUILDING DEPARTMENT

11333 East Valley Boulevard • Phone 575-2235

PAYMENT VALIDATION

284.00 PM
142.00 LC
2.46 TX
428.46 TD

~~DEL: WARE House~~
8-19-82

FOR APPLICANT TO FILL IN

BUILDING ADDRESS: 4344 N. SHIRLEY

LOT NO. _____ TRACT NO. Gudley BLOCK Reis

SIZE OF LOT _____ NO. OF BUILDINGS NOW ON LOT _____

USE OF EXISTING BLDG. WAREHOUSE

OWNER VONS GROCERY CO.

MAIL ADDRESS 10150 LOWER AZUSA RD.

CITY EL MONTE TEL. NO. 213 574-1400

ARCHITECT OR ENGINEER GERALD E. MUNIER TEL. NO. 213 795-8047

ADDRESS 2424 E. WALNUT PASADENA

CONTRACTOR NUNAHN INC

ADDRESS 200 CONTINENTAL BLVD

CITY EL SEGUNDO TEL. NO. 213 772-4200

STATE LICENSES NO. H06148

(THIS PERMIT NOT VALID UNTIL STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

PERMIT NUMBER: 21266
CITY OF EL MONTE
BUILDING DEPARTMENT
REW

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

BUILDING ADDRESS: 4344 Shirley

NEAREST CROSS ST. Valley MAP NUMBER 65

FIRE ZONE <u>II</u>	GROUP <u>B-2</u>	TYPE CONST. <u>1-N</u>	SEWER MAP BK <u>PG</u>
USE ZONE <u>M-2</u>	FRONT YARD SET BACK <u>50' of St</u>	SIDE YARD SET BACK <u>X</u>	REAR YARD SET BACK <u>X</u>

SPECIAL CONDITIONS
(1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

M.R. # 53724 18460
C.P. # 150023

ASSESSOR'S INFORMATION

M.B. 8577 PAGE _____ PAR. NO. _____

DESCRIPTION OF WORK

NEW ADD ALTER REPAIR DEMOLISH

SQ. FT. 54000 NO. STORIES 2 NO. OF FAMILIES _____

USE OF PROPOSED STRUCTURE DIETL COOLER WAREHOUSE

SIGNATURE OF APPLICANT Gerald E. Munier
ADDRESS 2424 E. WALNUT ST. PASADENA

FINAL APPROVAL

PLANNING DEPT. _____ DATE: _____

FIRE DEPT. _____ DATE: _____

PUBLIC WORKS: _____ DATE: _____

\$ 35,000.00

P.C. FEE	\$ <u>RD.</u>
PERMIT FEE	\$ <u>284.00</u>
BUS. LIC. FEE	\$ <u>142.00</u>
EOD FEE	\$ <u>2.46</u>
TOTAL	\$ <u>428.46</u>

VALUATION

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE Gerald E. Munier

ADDRESS 2424 E. WALNUT PASADENA

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION, LOCATION FORMS, MATERIALS	<u>9/10/82</u>	<u>J.D. Keren</u>
ROOFING OR DIAPHRAGM		
FRAME, FIRE STOPS BRACING, BOLTS		
FURNACE, LOCATION GAS VENT-DUCTS		
LATH: EXT.		
INSULATION		
LATH: INT.	<u>10/2/82</u>	<u>J.D. Keren</u>
HOUSE NUMBER CORRECT AND POSTED		

FINAL 11-7-82 JWD

over

1. OFFICE COPY

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA
BUILDING DEPARTMENT

11333 East Valley Boulevard • Phone 575-2235

(THIS PERMIT NOT VALID UNTIL STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

PERMIT NUMBER: **3-29-83**

21755 CITY OF EL MONTE
BUILDING DEPARTMENT

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

DATE March 28, 1983

FOR APPLICANT TO FILL IN

BUILDING ADDRESS 10150 Lower Azusa Road

38-39-40-41 Gidley Perrson
LOT NO. & 42 TRACT NO. Track BLOCK

SIZE OF LOT 850' x 3200' NO. OF BUILDINGS NOW ON LOT 9

USE OF EXISTING BLDG. Grocery Dist. Center

OWNER Vons Grocery Co.

MAIL ADDRESS P.O. Box 3338 Terminal Annex

CITY Los Angeles CA TEL NO. 213/579-1400

ARCHITECT ENGINEER D.R. Warren Co. TEL NO. 213/626-0101

ADDRESS 930 W. Sunset Blvd. Los Angeles

CONTRACTOR OWL CONSTRUCTORS

ADDRESS 2465 Campus Drive

CITY Irvine CA 92715 TEL NO. 714/752-8864

STATE LICENSES NO. Calif. 113101

DESCRIPTION OF WORK

NEW ADD. ALTER. REPAIR DEMOLISH

SQ. FT. 2124 NO. STORIES NO. OF FAMILIES

USE OF PROPOSED STRUCTURE Railroad Underpass

SIGNATURE OF APPLICANT

ADDRESS

\$ <u>196,000.00</u>	P.C. FEE \$ <u>pd. M.R. 53709</u>
<u>CONTRACT PRICE</u>	PERMIT FEE \$ <u>874.00</u>
	BUS. LIC. FEE \$ <u>437.00</u>
<u>\$ 200,000</u>	EOD FEE \$ <u>14.00</u>
VALUATION	PLOT PLAN FEE \$ <u>M.R. 53709</u>
	TOTAL \$ <u>1,325.00</u>

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE

Donis D Ruple

ADDRESS 2465 Campus Dr. Irvine Ca. 92715

BUILDING ADDRESS: 10150 Lower Azusa

NEAREST CROSS ST. Shirley MAP NUMBER 75

FIRE ZONE	GROUP	TYPE CONST.	SEWER MAP BK	PG
<u>II</u>	<u>MA</u>	<u>/</u>		

USE ZONE M-1 FRONT YARD SET BACK

SIDE YARD SET BACK

REAR YARD SET BACK

SPECIAL CONDITIONS (1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

ASSESSOR'S INFORMATION

M.B. 8571 PAGE 7 PAR NO. 1

INSURANCE DATA

W.C. Self Ins. EXP. DATE

W.C.S. DATE SIGNED

C/LICENSE 213101 EXP. DATE 1-31-85

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION, LOCATION FORMS, MATERIALS	<u>5/17/83</u>	<u>[Signature]</u>
ROOFING OR DIAPHRAGM FRAME, FIRE STOPS BRACING, BOLTS		
FURNACE, LOCATION GAS VENT DUCTS		
LATH: EXT.		
INSULATION		
LATH: INT.		
HOUSE NUMBER CORRECT AND POSTED		
FINAL		

5/13/83 6x6 mesh
Approved for tunnel slab.
See Matt money

1311.00
14.00
1325.00
1325.00
3/29/83
0.00000
VALIDATION

1. OFFICE COPY

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA
BUILDING DEPARTMENT

11333 East Valley Boulevard • Phone 575-2235

(THIS PERMIT NOT VALID UNTIL STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

PERMIT NUMBER: **8-4-83**

2205 CITY OF EL MONTE
22096 BUILDING DEPARTMENT **R.L.**
THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

DATE 7-12-83

FOR APPLICANT TO FILL IN

BUILDING ADDRESS 10150 LOWER AZUSA RD

LOT NO. _____ TRACT NO. _____ BLOCK _____

SIZE OF LOT _____ NO. OF BUILDINGS NOW ON LOT _____

USE OF EXISTING BLDG. PALLET STORAGE COVER

OWNER VONS GROCERY CO

MAIL ADDRESS 10150 LOWER AZUSA RD

CITY EL MONTE TEL. NO. 579-1400

ARCHITECT OR ENGINEER GEORGE E. MUNIER TEL. NO. 795-8047

ADDRESS 2424 E. WALNUT ST PASADENA

CONTRACTOR _____

ADDRESS _____

CITY _____ TEL. NO. _____

STATE LICENSES NO. _____

DESCRIPTION OF WORK

NEW **ADD** ALTER REPAIR DEMOLISH

SQ. FT. 600 NO. STORIES 1 NO. OF FAMILIES -

USE OF PROPOSED STRUCTURE PALLET STORAGE COVER

SIGNATURE OF APPLICANT George E. Munier

ADDRESS 2424 E. WALNUT ST, PASADENA

VALUATION

P.C. FEE	\$ 93.00
PERMIT FEE	\$ 144.00
BUS. LIC. FEE	\$ 72.00
EQD FEE	\$ 1.08
PLOT PLAN FEE	\$ 144.00
TOTAL \$	325.08

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE [Signature]

ADDRESS 3651 LAUSALITO ST, LOS ALAMITOS 90120

BUILDING ADDRESS: 10150 Lower Azusa

NEAREST CROSS ST. Shirley MAP NUMBER 35

FIRE ZONE <u>III</u>	GROUP	TYPE CONST.	SEWER MAP BK	PG
USE ZONE <u>n-2</u>	FRONT YARD SET BACK <u>50 ft</u>	SIDE YARD SET BACK <u>X</u>	REAR YARD SET BACK <u>X</u>	

SPECIAL CONDITIONS
(1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

ASSESSOR'S INFORMATION

M.B. 8575 PAGE 1 PAR NO. 5

INSURANCE DATA

W.C. _____ EXP. DATE 6-26-84

W.C.S. _____ DATE SIGNED _____

C/LICENSE 347098 EXP. DATE pending

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION, LOCATION FORMS, MATERIALS	<u>7/10/83</u>	<u>[Signature]</u>
ROOFING OR DIAPHRAGM		
FRAME, FIRE STOPS BRACING, BOLTS		
FURNACE, LOCATION GAS VENT DUCTS		
LATH: EXT.		
INSULATION		
LATH: INT.		
HOUSE NUMBER CORRECT AND POSTED		
FINAL	<u>12-13-83</u>	<u>[Signature]</u>

VALIDATION

7/12/83	7/12/83	7/12/83	7/12/83	7/12/83	7/12/83	7/12/83
325.08	14.40	1.08	72.00	144.00	93.00	93.00
TX	LC	PM	PM	PM	PM	PM

PENDING

(over)

1. OFFICE COPY

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA
BUILDING DEPARTMENT

11333 East Valley Boulevard • Phone 575-2235

(THIS PERMIT NOT VALID UNTIL STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

PERMIT NUMBER: *225*

BS/20/4
2-22-84
CITY OF EL MONTE

THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

DATE *Feb 21, 1984*

FOR APPLICANT TO FILL IN

BUILDING ADDRESS *4344 SHIRELY AVE*

LOT NO. TRACT NO. BLOCK

SIZE OF LOT *720 x 1801* NO. OF BUILDINGS NOW ON LOT *5*

USE OF EXISTING BLDG. *MEAT & WAREHOUSE FOODS*

OWNER *VON'S GROCERY CO.*

MAIL ADDRESS *4344 SHIRELY AVE*

CITY *EL MONTE* TEL. NO. *818-579-1400*

ARCHITECT OR ENGINEER *HANRICH INC* TEL. NO. *818-286-9137*

ADDRESS *5656 ROSEMEAD BLVD*

CONTRACTOR *BDDG. CONST. ASSOC. INC*

ADDRESS *175 SAN LORENZO ST.*

CITY *POMONA* TEL. NO. *714-623-2438*

STATE LICENSES NO. *286558*

DESCRIPTION OF WORK

NEW ADD. ALTER. REPAIR DEMOLISH

SQ. FT. *2960* NO. STORIES *1* NO. OF FAMILIES *0*

USE OF PROPOSED STRUCTURE *COVER LEADING DECK*

SIGNATURE OF APPLICANT *F.W. Lovell*

ADDRESS *175 SAN LORENZO ST. POMONA*

P.C. FEE	\$ 124.80
PERMIT FEE	\$ 192.00
BUS. LIC. FEE	\$ 96.00
EQU. FEE	\$ 1.45
PLOT PLAN FEE	\$ 19.70
TOTAL	\$ 433.45

VALUATION

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE *F.W. Lovell, Pres*

ADDRESS *175 San Lorenzo St Pomona*

BUILDING ADDRESS: *4344 SHIRELY AVE*

NEAREST CROSS ST. *LOWER AZUSA* MAP NUMBER *75*

FIRE ZONE	GROUP	TYPE CONST.	SEWER MAP BK	PG
<i>TTL</i>	<i>B2</i>	<i>TTL</i>		

USE ZONE	FRONT YARD SET BACK	
<i>M2</i>	<i>1</i>	<i>1</i>
	SIDE YARD SET BACK	
	REAR YARD SET BACK	

SPECIAL CONDITIONS (1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

UML PER CONTRACT

ASSESSOR'S INFORMATION

M.B. PAGE PAR NO.

INSURANCE DATA

W.C. EXP. DATE *4-1-84*

W.C.S. DATE SIGNED

C/LICENSE EXP. DATE *10-31-85*

APPROVALS

	DATE	INSPECTOR'S SIGNATURE
FOUNDATION, LOCATION FORMS, MATERIALS	<i>EXISTING</i>	
ROOFING OR DIAPHRAGM	<i>3-26-84</i>	<i>[Signature]</i>
FRAME, FIRE STOPS BRACING, BOLTS	<i>3-26-84</i>	<i>[Signature]</i>
FURNACE, LOCATION GAS VENT DUCTS		
LATH. EXT.		
INSULATION		
LATH. INT.		
HOUSE NUMBER CORRECT AND POSTED		
FINAL		

9249

1. OFFICE COPY

Plan filed (Vons)

APPLICATION FOR BUILDING PERMIT

CITY OF EL MONTE, CALIFORNIA
BUILDING DEPARTMENT

11333 East Valley Blvd. • Phone (818) 575-2235

(THIS PERMIT NOT VALID UNTIL STAMPED "APPROVED" BY BUILDING DEPT. AND ALL FEES PAID AND REQUIRED DEPOSITS MADE)

APPROVED

PERMIT NUMBER: **MAR 15 1985**
23548 CITY OF EL MONTE
 BUILDING DEPARTMENT
 THIS PERMIT NUMBER REQUIRED WHEN REQUESTING INSPECTION

DATE 3/1/85
FOR APPLICANT TO FILL IN

BUILDING ADDRESS 10150 LOWER AZUSA RD

LOT NO. _____ TRACT NO. _____ BLOCK _____

NO. OF BUILDINGS NOW ON LOT _____

SIZE OF LOT _____

USE OF EXISTING BLDG. TRANS OFFICES

OWNER VONS GROC CO

MAIL ADDRESS 10150 LOWER AZUSA

CITY EL MONTE TEL. NO. _____

ARCHITECT OR ENGINEER G. MUMFORD TEL. NO. 795-8047

ADDRESS 2034 EAST WALWORTH

CONTRACTOR ALCION, INC

ADDRESS 16369 HUNSAKER

CITY PARAMOUNT TEL. NO. 531-0356

STATE LICENSES NO. 459576

DESCRIPTION OF WORK

NEW ADD ALTER REPAIR DEMOLISH

SQ. FT. 9000 NO. STORIES 1 NO. OF FAMILIES _____

USE OF PROPOSED STRUCTURE OFFICE

SIGNATURE OF APPLICANT [Signature]

ADDRESS 11333 EAST VALLEY BLVD

<p>\$ 32,000.00</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>P.C. FEE</td><td>\$ 172.90</td></tr> <tr><td>PERMIT FEE</td><td>\$ 266.80</td></tr> <tr><td>BUS. LIC. FEE</td><td>\$ 133.00</td></tr> <tr><td>EQD FEE</td><td>\$ 2.25</td></tr> <tr><td>PLOT PLAN FEE</td><td>\$ 26.60</td></tr> <tr><td>TOTAL</td><td>\$ 600.75</td></tr> </table>	P.C. FEE	\$ 172.90	PERMIT FEE	\$ 266.80	BUS. LIC. FEE	\$ 133.00	EQD FEE	\$ 2.25	PLOT PLAN FEE	\$ 26.60	TOTAL	\$ 600.75
P.C. FEE	\$ 172.90												
PERMIT FEE	\$ 266.80												
BUS. LIC. FEE	\$ 133.00												
EQD FEE	\$ 2.25												
PLOT PLAN FEE	\$ 26.60												
TOTAL	\$ 600.75												

VALUATION

I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating building construction.

SIGNATURE OF PERMITTEE _____

ADDRESS _____

BUILDING ADDRESS: 10150 Lower Azusa

NEAREST CROSS ST. Shirley MAP NUMBER 75

FIRE ZONE <u>T-11</u>	GROUP <u>F-2</u>	TYPE CONST.	SEWER MAP BK PG
-----------------------	------------------	-------------	-----------------

USE ZONE M-2

FRONT YARD SET BACK <u>50' of St.</u>	
SIDE YARD SET BACK <u>X</u>	
REAR YARD SET BACK <u>X</u>	

SPECIAL CONDITIONS
 (1) Install or guarantee curbs and gutters, sidewalks, driveway approaches and street trees on all street frontages.

ASSESSOR'S INFORMATION

M.B. 8575 PAGE 1 PAR NO. 5

INSURANCE DATA

W.C. EXP. DATE 8-4-85

W.C.S. DATE SIGNED _____

C/LICENSE EXP. DATE 7-31-85

APPROVALS

DATE	INSPECTOR'S SIGNATURE
<u>3-28-85</u>	<u>[Signature]</u>
<u>4-8-85</u>	<u>[Signature]</u>
<u>4-19-85</u>	<u>[Signature]</u>
<u>5-7-85</u>	<u>[Signature]</u>
<u>6-3-85</u>	<u>[Signature]</u>

FOUNDATION, LOCATION FORMS, MATERIALS EXISTING

ROOFING OR DIAPHRAM _____

FRAME, FIRE STOPS BRACING, BOLTS _____

FURNACE, LOCATION GAS VENT DUCTS _____

LATH: EXT. _____

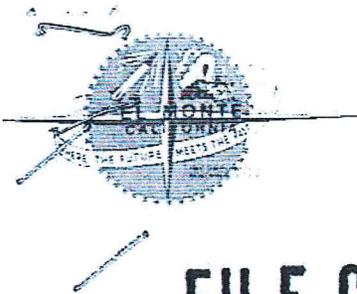
INSULATION G. T. Bar 4-19-85 [Signature]

LATH: INT. _____

HOUSE NUMBER CORRECT AND POSTED _____

FINAL 6-3-85 [Signature]

VALIDATION



CITY OF EL MONTE

BUILDING DEPARTMENT • CITY HALL WEST
 11333 VALLEY BOULEVARD • 2ND FLOOR
 EL MONTE, CALIFORNIA 91731
 (818) 580-2050 FAX (818) 580-2068

BUILDING PERMIT
 PERMIT NUMBER: 89005060

DATE ISSUED: 12/19/90
 DATE EXPIRES: 5/19/91

FILE COPY

JOB ADDRESS: 4344 SHIRLEY SUB: LOT: BLK: MAP PAGE: 5/19/91

SPECIFIC USE TYPE AREA/ LENGTH COST VALUE * WORK CLASS: ADDITION
 * IND'L PLANT 30x16 * USE TYPE: COMM'L/IND'L
 * OCCUP. GRP.:
 TOTAL * 32,190 * LOT SIZE:
 ***** ZONE:

REMARKS - REMODEL EX. COOLER ROOM 3000 S.F. SETBACKS: F: L5: R5: R:
 DESCRIPTION OF WORK - ADD 480SQ FT COMPRESSOR ROOM

CONTRACTOR	BOB SHAKER VP	
	CLAYTON CONSTRUCTION 640 W ORCHARD DRIVE SAN ANTONIO CA 91778 714-592-0888	
OWNER	NONE	
	713 NICHIL LINDA ARCADIA CA 91707 (618) 921-3970	
ARCHITECT	GERALD MURPHY	
	CHECK 490 SUBMIT 490 PLN 4 STR W 1# STR W 1# STR W 1# STR W 1# CONT 152 4# BUILD 304	
GENERAL		

TACO MEAT DEPT	
FEEs--	
ISSUANCE FEE	
PERMIT FEE	\$804.00
PLAN CHECK FEE	\$157.50
BUS. LIC. FEE	\$152.00
EDU FEE	\$4.87
PLOT PLAN FEE	\$20.00
BOND FEE	
ENERGY CALC. FEE	
DOUBLE FEE	
OTHER FEE	
UNIT FEE	
SUBTOTAL:	\$1688.87
PRE-PAID FILING FEE	< \$226.00
TOTAL:	\$1460.87

H0905
 12/19/90 08:41AM 00001 7 CLRK

RECEIPT NUMBER:
 METHOD OF PAYMENT: CK# 6111
 PREPAID RECEIPT NO.: 14147

I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.
 I hereby affirm that I have a certificate of Worker's Compensation Insurance, and/or a certified copy thereof.
 I hereby acknowledge that I have read this application and state that the above is correct and agree to comply with all City Ordinances and State laws regulating building construction.

[Signature]
 Permittee Signature

ISSUED BY *[Signature]*

SEPARATE PERMITS REQUIRED FOR WORK OTHER THAN DESCRIBED ABOVE



BUILDING PERMIT
PERMIT NUMBER: 89018135

CITY OF EL MONTE

BUILDING DEPARTMENT • CITY HALL WEST
11333 VALLEY BOULEVARD • 2ND FLOOR
EL MONTE, CALIFORNIA 91731
(818) 580-2050 FAX (818) 580-2068

DATE ISSUED: 11/20/95

FILE COPY

JOB ADDRESS: 4344 SHIRLEY
SUB:

LOT: BLK: MAP PAGE:

* SPECIFIC USE	TYPE	AREA/ LENGTH	COST	VALUE	* WORK CLASS: NEW
* IND'L PLANT					* USE TYPE: COMM'L/IND'L
*					* OCCUP.GRP.: B2
*					*
*					*
*					*
*					* LOT SIZE:
TOTAL:				\$60,000	* ZONE:

SETBACKS-F: LS: RS: R:

REMARKS-

VONS COMPANIES SELF INSURED

DESCRIPTION OF WORK-
NEW SPIRAL FREEZER FACILITIES
FOR MEAT PROCESSING

C O N T R A C T O R	
O W N E R	VONS DISTRIBUTION CENTER 4344 SHIRLEY EL MONTE CA 91731 (818)350-8462
A R C H	GERALD MUNIER 2424 E WALNUT PASADENA CA 91107 (818)795-8847

-FEES-	
ISSUANCE FEE	
PERMIT FEE	\$484.50
PLAN CHECK FEE	\$314.93
BUS. LIC. FEE	\$242.25
EQD FEE	\$12.60
PLOT PLAN FEE	\$96.90
BOND FEE	
ENERGY CALC. FEE	
DOUBLE FEE	
OTHER FEE	
UNIT FEE	
SUBTOTAL:	\$1,151.18
PRE-PAID FILING FEE	< \$411.83
TOTAL:	\$739.35

RECEIPT NUMBER:
METHOD OF PAYMENT:
PREPAID RECEIPT NO.: 43878

#11150

#52781

6 8870 6 20000 HVED:60 56/02/11

I hereby affirm that I am exempt from the Contractor's License Law for the following reason: I, as owner of the property will do the work myself without

hiring any employees, and the structure is not intended for or offered for sale.

the performance of the work for which this permit is issued, any person in any manner so as to become subject to the State Laws of California.

I certify that I shall not be a contractor for the work required by this permit.

ISSUED BY: *[Signature]*

[Signature]

Permittee Signature
SEPARATE PI

NOTES REQUIRED FOR WORK OTHER THAN DESCRIBED ABOVE

MONTE

BUILDING PERMIT
PERMIT NUMBER: 89018135
DATE ISSUED: 11/20/95

INSPECTION RECORD

WORK CLASS: NEW
USE TYPE: COMM'L/IND'L
OWNER:
ADDRESS: 4344 SHIRLEY

NOTICE

THIS CARD MUST BE POSTED ON THE JOB SITE PRIOR TO ANY INSPECTION AND MAINTAINED UNTIL ALL INSPECTIONS ARE MADE

INSPECTION	DATE	INSP.	INSPECTION	DATE	INSP.	INSPECTION	DATE	INSP.
SETBACK/FDN.								
SLAB			ROOF NAILING					
			FRAMING					
FREEZER RM FDN	11-30-95	BA	EXTNL & LATH					
Tank			INSULATION					
Compress	12-11-95	BA	DRY WALL					
Condenser						FINAL-BLDG		96
						OTHER		4-0
APPROVED FOR OCCUPANCY/FINAL								3-0

24 HOUR NOTICE REQUIRED FOR ALL INSPECTIONS
OCCUPANCY AND USE NOT AUTHORIZED UNTIL FINAL INSPECTION COMPLETED

A 929 S ORANGE AVE
C WEST COTTAGE

ISSUANCE FEE

-FEES-

\$20.00

Confidentially Provided to
Matthew Nesther
Goodman Blitcher
216.501.8100
08/28/2015



City of El Monte

City Hall West • 11333 Valley Blvd.
El Monte, CA 91731-3293
(626) 580-2050

PERMIT NO. B00-009-770
Permit Type: **Commercial Alter**

PROJECT	TRACT NO.	BLK. NO.	LOT NO.	APPLIC. DATE	ISSUED BY	Issue Date:	03/24/2010
	00085		0001	1/28/2010	TM	Permit Status:	Issued

PROJECT ADDRESS: **4344 Shirley Ave** ASSESSORS PARCEL NO. **8577-007-018** GEO CODE

OWNER: **Vons Companies Inc** MAILING ADDRESS: **1371 Oakland Blvd Ste 200 Walnut, CA 94596** PHONE NO. FAX NO.

APPLICANT: **Todd Construction Services** MAILING ADDRESS: **1206 Price Street Pomona, CA 91767** PHONE NO. (951) 218-1197 FAX NO. **617111**

CONTRACTOR/PROFESSIONAL: **Todd Construction Services Inc** MAILING ADDRESS: **1206 Price St Pomona, CA 91767** PHONE NO. (909) 469-6242 FAX NO. EMAIL ADDRESS: **909 973-4554**

TENANT: MAILING ADDRESS: PHONE NO. FAX NO.

DESCRIPTION

REPLACE EXTERIOR WALL PANELS AT BLD 230 A, UPGRADE VENTILATION SYSTEM AT BLDs 230 B & 220, INSTALL FOUNDATIONS FOR 3 WATER DIFFUSION TANKS, UPGRADE REFRIGERATION SYSTEM AT BLDs 230 A, 230 C & D & 220, ADA UPGRADE AT BLD 230 B

CALCULATION TYPE	UOM	# OF UNITS	VALUE	CALCULATION TYPE	UOM	# OF UNITS	VALUE
<p>OCCUPANCY Warehouses TOTAL VALUATION \$1,138,000.00</p>							

FEE DETAIL									
QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID	QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID
		SMIP 2	\$238.98	\$238.98			Building Standards Com Fee	\$46.00	\$46.00
		Contractor's Business License	\$3,021.73	\$3,021.73			Elec - Business License Fee	\$264.20	\$264.20
		Mech - Business License Fee	\$85.70	\$85.70	1		Building - Permit Issue	\$23.50	\$23.50
		Permit Fee	\$6,043.45	\$6,043.45	1	each	Service/panels 0-200amps	\$32.60	\$32.60
1		Electric - Permit Issue	\$23.50	\$23.50	1	each	Service/panel >1000amps	\$136.20	\$136.20
14	each	Motors 1-10hp	\$232.40	\$232.40	5	each	Light Fixtures plus Switches	\$18.00	\$18.00
2	each	Transformers	\$109.20	\$109.20			Energy	\$302.17	\$302.17
3	each	Air Handler (<10K)	\$97.80	\$97.80	1		Mechanical - Permit Issue	\$23.50	\$23.50
4	each	Evaporative Cooler	\$73.60	\$73.60			Plot Plan	\$1,208.69	\$1,208.69
		General Plan Update Fee	\$55.78	\$55.78	10	each	Archive - 8.5" x 11"	\$2.50	\$2.50
47	each	Archive - over 8.5" x 11" size.	\$94.00	\$94.00			Plan Check	\$3,928.24	\$3,928.24
		Technology Enhancement Fee	\$126.31	\$126.31	1	flat fee	Fire Dept Review	\$50.00	\$50.00

Total Fees: \$ 16,238.05 Total Paid: \$ 16,238.05 Balance Unpaid: \$ 0.00 Paid Today: \$12,309.81

EXPIRED

PAID
MAR 24 2010
City of El Monte
Building Division

RECEIPTS DETAIL

RECEIPT #	TRANS. DATE	NAME	PAYMENT TYPE	PAYMENT TYPE #	AMOUNT
13,058	1/28/2010	Todd Const.	Check	3645	\$3,928.24
13,370	3/24/2010	TODD CONST	Check	3767	\$12,309.81



City of El Monte
 City Hall West • 11333 Valley Blvd.
 El Monte, CA 91731-3293
 (626) 580-2050

Heavy Framing

INSPECTION RECORD

Permit No. **B00-009-770**
 Permit Type: **Commercial Alter**

POST CONSPICUOUSLY ON THE JOB

Building Address	4344 Shirley Ave		
Owner Name and Address	Vons Companies Inc	Phone:	
	1371 Oakland Blvd Ste 200 Walnut, CA 94596	Fax:	
Contractor Name and Address	Todd Construction Services Inc	Phone: (909) 469-6242	
	1206 Price St Pomona, CA 91767	Fax: () -	
State Lic. & Classif.	463296	City Lic. #	
	B, C8		

Proposed Construction

REPLACE EXTERIOR WALL PANELS AT BLD 230 A,
 UPGRADE VENTILATION SYSTEM AT BLDs 230 B &
 220, INSTALL FOUNDATIONS FOR 3 WATER
 DIFFUSION TANKS, UPGRADE REFRIGERATION

4-19-10 Re Framing for dock
 doors 208-214 Approved.
 Received deputy inspection
 reports for this area

4-26-10 3 equip pads completed

6/15/10 H.C RAMP FRAMING
 6 7092 OK 9- foot wall
 Rough Framing of Dock Doors
 221-226 OK w hb

071910: R. framing @ Dock doors 227-234 only.
 Picked up Deputy report for this area. 071910
 072610: R. Electrical @ Sub Station " 072610
 08570: Air Unit Handler (3) Per 5331/1334/85 08570
 Picked up Deputy report for doors 235-240, observed
 prior to wood framing. 081610

9/14/10 Disable Access Ramp 6

B00-010-517 093010 GG FA

FA frame @ dock doors 24929 10/11/10
 FA R. frame @ Bldg 252-254 10/25/10
 FA R. frame @ Bldg 255-257 11/08/10

Reof supports for Apron Lines @ Bldg 220 & 220
 n. side Bldg 220 11/15/10

Building	Date	Insp. Status
*****BUILDING*****		
Dig Alert		
Set Backs/Pad Certs/R Grading		pushed back
Column Pads & Bases		
Foundations/Anchor Bolts/Bases		208-214
Slab/Mesh/Visqueen		
Tilt Up/Steel		
Floor Deck		
Roof Deck/Sheeting/Radiant Barrier		
Shear Walls & Transfer		
Frame/Lateral Support		AM
Fire Caulk		
T-Bar		
Insulation		
Lath & Windows (T24)		
Drywall		
****MASONRY*****		
1st Lift		
*****PLUMBING*****		
Site Sewer		
Site Water		
Site Gas & Test		
U-W&V + Test		5/15/10
U-Water		
U-Gas & Test		
TO-W&V & Test		
TO-Water & Test		
TO-Gas & Test		
****ELECTRIC*****		
Grounding		
Site Elec		
R-Elect Underslab		
R - Elect-In-Wall		
R - Elect Ceiling		
ESP		
Sub Panel + Main Breaker		
Release to SCE		
****MECHANICAL*****		
R-Mech (T24)		
Combustion Air/Attic Access		
Fire/Smoke Dampers		
Miscellaneous		
Miscellaneous		
Finals**		
Final Gas Test		
State Elevator Approval		
Health Dept. Final		
Planning/Eng/Fire/Housing Final		
Final Sewer		
Electrical Final		
Mechanical Final		
Plumbing Final		
Building Final		



City of El Monte

City Hall West • 11333 Valley Blvd.
El Monte, CA 91731-3293
(626) 580-2050

PERMIT NO. B00-009-813
Permit Type: Commercial Alter

PROJECT	TRACT NO.	BLK. NO.	LOT NO.	APPLIC. DATE	ISSUED BY	Issue Date:	05/19/2010
	00085		0001	2/11/2010	TM	Permit Status:	Issued

PROJECT ADDRESS 4300 Shirley
ASSESSORS PARCEL NO. 8577-007-018
GEO CODE

OWNER
Vons Companies Inc
MAILING ADDRESS
1371 Oakland Blvd Ste 200
Walnut, CA 94596
PHONE NO.
FAX NO.

APPLICANT
Contractor
MAILING ADDRESS
PHONE NO.
FAX NO.

CONTRACTOR/PROFESSIONAL
Todd Construction Services Inc
MAILING ADDRESS
1206 Price St
Pomona, CA 91767
PHONE NO. (909) 469-6242
FAX NO.
EMAIL ADDRESS:

TENANT
MAILING ADDRESS
PHONE NO.
FAX NO.

DESCRIPTION
ARDEN DRIVEWAY MODIFICATIONS-(city approval pending), NEW GUARD BOOTH AT ARDEN, NEW ACCESS DRIVE AND CULVERTS ACROSS OLD RAILROAD TRACKS/DITCH, NEW GUARD BOOTH AT GIDLEY, UPGRADE ELECTRICAL TRANSFORMER, INCLUDING ELECTRICAL

CALCULATION TYPE	UOM	# OF UNITS	VALUE	CALCULATION TYPE	UOM	# OF UNITS	VALUE
Value	dollars	275,000	\$275,000.00				

OCCUPANCY Commercial **TOTAL VALUATION** \$275,000.00

FEE DETAIL									
QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID	QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID
		SMIP 2	\$57.75	\$57.75			Building Standards Com Fee	\$11.00	\$11.00
		Contractor's Business License	\$986.88	\$986.88			Elec - Business License Fee	\$45.40	\$45.40
		Permit Fee	\$1,973.75	\$1,973.75	1		Building - Permit Issue	\$23.50	\$23.50
1	each	240 v. appliance	\$9.00	\$9.00	1	each	Transformers	\$54.60	\$54.60
1		Electric - Permit Issue	\$23.50	\$23.50	2	each	Outlets/switches/fixtures	\$3.60	\$3.60
1	each	Service/panels 0-200amps	\$32.60	\$32.60			Energy	\$98.69	\$98.69
		Plot Plan	\$394.75	\$394.75			General Plan Update Fee	\$18.22	\$18.22
14	each	Archive - over 8.5" x 11" size.	\$28.00	\$28.00			Plan Check	\$1,282.94	\$1,282.94
		Technology Enhancement Fee	\$41.25	\$41.25					

Paid

MAY 19 2010

Total Fees: \$ 5,085.43 **Total Paid:** \$ 5,085.43 **Balance Unpaid:** \$ 0.00 **City of El Monte Paid Today:** \$3,802.49
Building Division

RECEIPTS DETAIL						
RECEIPT #	TRANS. DATE	NAME	PAYMENT TYPE	PAYMENT TYPE #	AMOUNT	
13,128	2/16/2010	TODD CONSTRUCTION SRVCS	Check	3666	\$1,282.94	
13,693	5/19/2010	TODD CONSTRUCTION SERVIC	Check	3768	\$3,802.49	



City of El Monte

City Hall West • 11333 Valley Blvd.
 El Monte, CA 91731-3293
 (626) 580-2050

PERMIT NO. B00-010-174

Permit Type: Re-roof

*Mailed
01-18-11
ggc*

PROJECT	TRACT NO.	BLK. NO.	LOT NO.	APPLIC. DATE	ISSUED BY	Issue Date:	05/20/2010
	00085			5/20/2010	TM	Permit Status:	Issued

PROJECT ADDRESS: **4344 Shirley # 220**
 ASSESSORS PARCEL NO.: **8577-007-018**
 GEO CODE:

OWNER: **Vons Companies Inc**
 MAILING ADDRESS: **1371 Oakland Blvd Ste 200 Walnut, CA 94596**
 PHONE NO.: FAX NO.:

APPLICANT: **Zamora, Carlos**
 MAILING ADDRESS: **1315 N Tustin Suite 363 Orange, CA 92867**
 PHONE NO.: **(818) 735-7876** FAX NO.:

CONTRACTOR/PROFESSIONAL: **Sbr Construction Inc**
 MAILING ADDRESS: **1315 N Tustin Suite 363 Orange, CA 92867**
 PHONE NO.: **(714) 283-2500** FAX NO.:
 EMAIL ADDRESS:

TENANT: MAILING ADDRESS: PHONE NO.: FAX NO.:

DESCRIPTION

TEAR OFF EXISTING BUR CAPSHEET DOWN TO METAL DECK. INSTALL 1 1/2" INSULATION THEN LAY 1/4" DENS DECK, LAY CARLISLE SUREWELD SINGLE PLY PVC MECHANICALLY FASTENED 840 SQUARES, ESR 1463

CALCULATION TYPE	UOM	# OF UNITS	VALUE	CALCULATION TYPE	UOM	# OF UNITS	VALUE
Value	dollars	325,000	\$325,000.00				

OCCUPANCY: **Commercial** TOTAL VALUATION: **\$325,000.00**

FEE DETAIL									
QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID	QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID
		SMIP 1	\$32.50	\$32.50			Contractor's Business License	\$1,126.88	\$1,126.88
		Permit Fee	\$2,253.75	\$2,253.75	1		Building - Permit Issue	\$23.50	\$23.50

Paid
MAY 20 2010
 City of El Monte
 Building Division

Total Fees: \$ 3,436.63 Total Paid: \$ 3,436.63 Balance Unpaid: \$ 0.00 Paid Today: \$3,436.63

RECEIPTS DETAIL						
RECEIPT #	TRANS. DATE	NAME	PAYMENT TYPE	PAYMENT TYPE #	AMOUNT	
13,703	5/20/2010	IE INC	Check	3124	\$3,436.63	



City of El Monte

City Hall West • 11333 Valley Blvd.
El Monte, CA 91731-3293
(626) 580-2050

PERMIT NO. B00-010-517

Permit Type: **Commercial Alter**

PROJECT TRACT NO. 00085 BLK. NO. LOT NO. APPLIC. DATE 8/5/2010 ISSUED BY TM

Issue Date: **08/11/2010**

Permit Status: **Issued**

Final
9/30/10

PROJECT ADDRESS

4344 Shirley Ave

OWNER

Vons Companies Inc

APPLICANT

Plumb Engineering

CONTRACTOR/PROFESSIONAL

Todd Construction Services Inc

TENANT

ASSESSORS PARCEL NO.

GEO CODE

8577-007-018

PHONE NO.

FAX NO.

MAILING ADDRESS

1371 Oakland Blvd Ste 200
Walnut, CA 94596

MAILING ADDRESS

914 E Katella Ave 2nd Floor
Anaheim, CA 92805

MAILING ADDRESS

1206 Price St
Pomona, CA 91767

PHONE NO. (714) 385-1835 FAX NO.

PHONE NO. (909) 469-6242 FAX NO.

EMAIL ADDRESS:

PHONE NO.

FAX NO.

DESCRIPTION

REPAIR/REPLACE DRYROTTED ROOF STRUCTURAL FRAMING MEMBERS AND SHEETING AT BUILDING NUMBER 230.

CALCULATION TYPE	UOM	# OF UNITS	VALUE	CALCULATION TYPE	UOM	# OF UNITS	VALUE
Value	dollars	80,000	\$80,000.00				

OCCUPANCY: Warehouses TOTAL VALUATION \$80,000.00

FEE DETAIL				FEE DETAIL					
QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID	QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID
		SMIP 2	\$16.80	\$16.80			Building Standards Com Fee	\$4.00	\$4.00
		Contractor's Business Lic.	\$426.88	\$426.88			Permit Fee	\$853.75	\$853.75
1		Building - Permit Issue	\$23.50	\$23.50			Energy	\$42.69	\$42.69
		Plot Plan	\$170.75	\$170.75			General Plan Update Fee	\$7.88	\$7.88
15	each	Archive - over 8.5" x 11" size.	\$30.00	\$30.00			Plan Check	\$554.94	\$554.94
		Technology Fee	\$17.84	\$17.84					

Paid

AUG 11 2010

City of El Monte
Building Division

Total Fees: \$ 2,149.03 Total Paid: \$ 2,149.03 Balance Unpaid: \$ 0.00 Paid Today: \$1,594.09

RECEIPTS DETAIL

RECEIPT #	TRANS. DATE	NAME	PAYMENT TYPE	PAYMENT TYPE #	AMOUNT
14,205	8/5/2010	Plumb Eng	Check	17692	\$554.94
14,238	8/11/2010	todd construction	Check	4147	\$1,594.09



City of El Monte

City Hall West • 11333 Valley Blvd.
El Monte, CA 91731-3293
(626) 580-2050

PERMIT NO. **B00-010-761**

Permit Type: **Demolition**

Final Draft

PROJECT	TRACT NO.	BLK. NO.	LOT NO.	APPLIC. DATE	ISSUED BY	Issue Date:	09/30/2010
	00085			9/30/2010	TM	Permit Status:	Issued

PROJECT ADDRESS: **4344 Shirley Ave**
 ASSESSORS PARCEL NO.: **8577-007-018**
 GEO CODE:

OWNER: **Vons Companies Inc**
 MAILING ADDRESS: **1371 Oakland Blvd Ste 200
Walnut, CA 94596**
 PHONE NO.: FAX NO.:

APPLICANT: **Contractor**
 MAILING ADDRESS: PHONE NO.: FAX NO.:

CONTRACTOR/PROFESSIONAL: **Todd Construction Services Inc**
 MAILING ADDRESS: **1206 Price St
Pomona, CA 91767**
 PHONE NO.: **(909) 469-6242** FAX NO.:
 EMAIL ADDRESS:

TENANT: MAILING ADDRESS: PHONE NO.: FAX NO.:

DESCRIPTION: **DEMO BAKERY AND AEROSOL BUILDINGS**

CALCULATION TYPE	UOM	# OF UNITS	VALUE	CALCULATION TYPE	UOM	# OF UNITS	VALUE	
			OCCUPANCY : Commercial					
						TOTAL VALUATION	\$0.00	

FEE DETAIL									
QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID	QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID
		Contractor's Business Lic.	\$40.00	\$40.00	1	flat fee	Demo Permit Fee	\$80.00	\$80.00
1		Building - Permit Issue	\$23.50	\$23.50					

Total Fees: \$ 143.50 Total Paid: \$ 143.50 Balance Unpaid: \$ 0.00 Paid Today: \$143.50

RECEIPTS DETAIL

RECEIPT #	TRANS. DATE	NAME	PAYMENT TYPE	PAYMENT TYPE #	AMOUNT
14,589	9/30/2010	Contractor	Check	4312	\$143.50

Confidentially provided to Matthew Nestlerode 216.501.187.130
Goodman Blitcher
2/28/2015 2:44 PM

paid
SEP 30 2010
City of El Monte
Building Division



City of El Monte

City Hall West • 11333 Valley Blvd.
El Monte, CA 91731-3293
(626) 580-2050

INSPECTION RECORD

Permit No. **B00-009-813**
Permit Type: **Commercial Alter**

POST CONSPICUOUSLY ON THE JOB

Building Address	4300 Shirley		
Owner Name and Address	Vons Companies Inc 1371 Oakland Blvd Ste 200 Walnut, CA 94596	Phone:	
		Fax:	
Contractor Name and Address	Todd Construction Services Inc 1206 Price St Pomona, CA 91767	Phone: (909) 469-6242	
		Fax: () -	
State Lic. & Classif.	463296 B, C8	City Lic. #	

Proposed Construction

ARDEN DRIVEWAY MODIFICATIONS-(city approval pending), NEW GUARD BOOTH AT ARDEN, NEW ACCESS DRIVE AND CULVERTS ACROSS OLD RAILROAD TRACKS/DITCH, NEW GUARD BOOTH AT

072610: R. Electrical @ Sub Station "C" 072610 off

Final electrical @ Sub Station "C" and Guard Booth @ Gidley only. 010511 off

*Guard Booth @ Gidley finalized 011911 off
NO outstanding issues.

Building **Date** **Insp. Status**

*****BUILDING*****

Dig Alert

Set Backs/Pad Certs/R Grading

Column Pads & Bases

Foundations/Anchor Bolts/Bases

Slab/Mesh/Visqueen

Tilt Up/Steel

Floor Deck

Roof Deck/Sheeting/Radiant Barrier

Shear Walls & Transfer

Frame/Lateral Support

Fire Caulk

T-Bar

Insulation

Lath & Windows (T24)

Drywall

****MASONRY*****

1st Lift

*****PLUMBING*****

Site Sewer

Site Water

Site Gas & Test

U-W&V + Test

U Water

U-Gas & Test

TO-W&V & Test

TO-Water & Test

TO-Gas & Test

****ELECTRIC*****

Grounding

Site Elec

R-Elect Underslab

R- Elect-In-Wall

R - Elect Ceiling

ESP

Sub Panel + Main Breaker

Release to SCE

****MECHANICAL*****

R-Mech (T24)

Combustion Air/Attic Access

Fire/Smoke Dampers

Miscellaneous

Miscellaneous

Finals**

Final Gas Test

State Elevator Approval

Health Dept. Final

Planning/Eng/Fire/Housing Final

Final Sewer

Electrical Final

Mechanical Final

Plumbing Final

Building Final



DEPT. OF BLDG. & SAFETY

CITY OF EL MONTE

COUNTY OF LOS ANGELES

SPECIAL INSPECTION REPORT

Building Permit No B00-009-0770 Job No. _____ Date October 8, 2010

Job Identification / Address VONS@4344 SHIRLEY AVE EL MONTE CA.

General Contractor / Address TODD CONSTRUCTION

Sub-Contractor / Address PHIL'S CUSTOM WELDING

Structural Engineer / Address TRAN SYSTEMS 220 CHARLES WAY NEW YORK

TYPE OF WORK: REINFORCED CONCRETE _____ MASONRY _____ HI-TENSILE BOLTING _____
PRESTRESSED CONCRETE _____ WELDING X GYPSUM CONCRETE _____

WELDER	RECEIPT NUMBER	WELDER	RECEIPT NUMBER
FELIPE HURTADO	P017946		
PHIL HURTADO	4198		

DATE OF INSPECTION	DESCRIPTION OF WORK INSPECTED
	OBSERVED FIELD WELDING OF NEW C8 X 11.5 STEEL GIRTER SPANNING BETWEEN EXISTING STEEL JAMBS AT DOCK DOOR FRAMING PER TYPICAL DETAILS ON SHEET S-332. NEW L4" X 6" X 3/8" TO C8 AND EXISTING W8 JAMBS WITH 1/4" SINGLE PASS FILLET WELDS ALL AROUND BETWEEN AND 1/2" DIA X 3 1/2 " LONG NELSON STUDS 12 PER FRAME AND 6 FRAMES TOTAL BY CERTIFIED WELDERS USING NR323 FCAW PROCESS PER AWS D.1. ABOVE WORK COMPLETE PER PLAN SPECS AND CADE BAY 249, 250, 251

HOURS				
Date	Reg.	O.T.	TIME IN	TIME OUT
10/8/10	8		7:00AM	3:00PM

SAMPLES				
Grout	Mortar	Concrete	Block Prisms	Density

All inspections based on a minimum of 4 hours & over 4 hours - 8 hour minimum. In addition, over 8 hours and Saturday will be billed at time and a half.

ATTORNEY'S FEES - If any action at law or in equity is brought to enforce or interpret the terms of this Contract, the prevailing party shall be entitled to reasonable attorney's fees, costs and necessary disbursements in addition to any other relief to which such party may be entitled

SPECIAL INSPECTION REPORT

Inspector's Name: BEVERLY PARAS Inspector's Signature: Beverly Paras

I.D. No. 1063985-85 has been filed and it states that the above work to the best of his/her knowledge complies with the provisions of the Uniform Building Code and meets Approved Plans and Specification.

Respectfully Submitted

Approved by: _____ By _____
Project Superintendent



City of El Monte

City Hall West • 11333 Valley Blvd.
El Monte, CA 91731-3293
(626) 580-2050

PERMIT NO.	B00-011-397
Permit Type:	Demolition

PROJECT	TRACT NO.	BLK. NO.	LOT NO.	APPLIC. DATE	ISSUED BY	Issue Date:	03/23/2011	<i>Final 3/23/11</i>
	00085			3/23/2011	TMA	Permit Status:	Issued	

PROJECT ADDRESS	ASSESSORS PARCEL NO.	GEO CODE
10150 Lower Azusa	8577-007-010	

OWNER	MAILING ADDRESS	PHONE NO.	FAX NO.
Vons Realty Co	1371 Oakland Blvd Ste 200 Walnut, CA 94596		

APPLICANT	MAILING ADDRESS	PHONE NO.	FAX NO.
Contractor			

CONTRACTOR/PROFESSIONAL	MAILING ADDRESS	PHONE NO.	FAX NO.
Todd Construction Services Inc	1206 Price St Pomona, CA 91767	(909) 469-6242	
		EMAIL ADDRESS:	

TENANT	MAILING ADDRESS	PHONE NO.	FAX NO.

DESCRIPTION
DEMO 2-STORY 43,850 SQ FT OFFICE BUILDING

CALCULATION TYPE	UOM	# OF UNITS	VALUE	CALCULATION TYPE	UOM	# OF UNITS	VALUE
OCCUPANCY							
						TOTAL VALUATION	\$0.00

				FEE DETAIL					
QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID	QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID
1		Contractor's Business Lic.	\$40.00	\$40.00	1	flat fee	Demo Permit Fee	\$80.00	\$80.00
		Permit Issue Fee	\$23.50	\$23.50					

Paid

MAR 23 2011

City of El Monte
Building Division

Total Fees: \$ 143.50 Total Paid: \$ 143.50 Balance Unpaid: \$ 0.00 Paid Today: \$143.50

RECEIPTS DETAIL					
RECEIPT #	TRANS. DATE	NAME	PAYMENT TYPE	PAYMENT TYPE #	AMOUNT
15,783	3/23/2011	Contractor	Check	4876	\$143.50



CITY OF EL MONTE - FINAL COMPLETION FORM

Reference: G-132011-933
1300-010-761 Job Address 4300 Shirley Ave

Final inspection and approval for occupancy are required by the following departments before a Building Final and Certificate of Occupancy will be issued.

FIRE DEPARTMENT BY NA Date _____

Residential (626) 574-0949

Commercial (323) 890-4125

PLANNING DEPARTMENT BY NA Date _____

(626) 258-8626

PUBLIC WORKS DEPARTMENT BY Cuan [Signature] Date 3/24/2011

(626) 580-2056

HOUSING DEPARTMENT BY NA Date _____

(626) 580-2070

GRADING & DRAINAGE CERT. LETTER BY G Gerlach Date 3/23/11

After all signatures have been obtained, return this document to your Building Inspector. A Final Inspection can now be accomplished.

Confidential
Matthew Nesherodoff
Goodman Architects
216.50.1871
08/28/2015 2:42 PM



City of El Monte

City Hall West • 11333 Valley Blvd.
 El Monte, CA 91731-3293
 (626) 580-2050

PERMIT NO. B00-011-803
Permit Type: Blockwall

PROJECT **TRACT NO.** 00085 **BLK. NO.** **LOT NO.** **APPLIC. DATE** 6/27/2011 **ISSUED BY** TMA **Issue Date:** 06/27/2011
Permit Status: Issued

PROJECT ADDRESS **ASSESSORS PARCEL NO.** 8577-007-018 **GEO CODE**

4300 Shirley Ave

OWNER
 Vons Companies Inc

MAILING ADDRESS
 1371 Oakland Blvd Ste 200
 Walnut, CA 94596

PHONE NO. **FAX NO.**

APPLICANT
 Contractor

MAILING ADDRESS

PHONE NO. **FAX NO.**

CONTRACTOR/PROFESSIONAL
 Todd Construction Services Inc

MAILING ADDRESS
 1206 Price St
 Pomona, CA 91767

PHONE NO. (909) 469-6242 **FAX NO.**
EMAIL ADDRESS:

TENANT

MAILING ADDRESS

PHONE NO. **FAX NO.**

DESCRIPTION

CONSTRUCT APPROXIMATELY 43 LIN. FT OF 5'4"- 7'4" HIGH RETAINING WALL TO REPAIR WASHED OUT SLOPE, INCLDING INSTALLATION OF DRAINAGE DEVICES

CALCULATION TYPE	UOM	# OF UNITS	VALUE	CALCULATION TYPE	UOM	# OF UNITS	VALUE
Value	dollars	4,300	\$4,300.00				

OCCUPANCY Walls **TOTAL VALUATION** \$4,300.00

FEE DETAIL				FEE DETAIL					
QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID	QTY	UOM	DESCRIPTION	AMT DUE	AMT PAID
		SMIP 1	\$0.50	\$0.50			Contractor's Business Lic.	\$55.63	\$55.63
		Permit Fee	\$111.25	\$111.25	1		Permit Issue Fee	\$23.50	\$23.50
		Plot Plan	\$22.25	\$22.25			General Plan Update Fee	\$1.03	\$1.03
30	each	Archive - 8.5" x 11"	\$7.50	\$7.50	1	each	Archive - over 8.5" x 11" size.	\$2.00	\$2.00
		Technology Fee	\$2.33	\$2.33					

Paid

JUN 27 2011

City of El Monte
 Building Division

Total Fees: \$ 225.99 Total Paid: \$ 225.99 Balance Unpaid: \$ 0.00 Paid Today: \$225.99

RECEIPTS DETAIL						
RECEIPT #	TRANS. DATE	NAME	PAYMENT TYPE	PAYMENT TYPE #	AMOUNT	
16,540	6/27/2011	M Silvey	Check	4306	\$225.99	

Final
8/28/11

Confidentially provided to
 Matthew Nestorode
 216.50.187.130
 6/28/2011 2:14 PM

Notice of Completion

Before using this form, refer to title company requirements stated on reverse side of this form.
THIS FORM FURNISHED BY TITLE INSURANCE AND TRUST COMPANY

Notice is hereby given that:

- The undersigned is OWNER of the interest or estate stated below in the property hereinafter described.
- The FULL NAME of the undersigned is SHOPPING BAG FOOD STORES
- The FULL ADDRESS of the undersigned is 10150 Lower Azusa Road
El Monte, California
- The NATURE OF THE TITLE of the undersigned is: In fee.

(If other than fee, strike "In fee" and insert, for example, "purchaser under contract of purchase," or "lessee".)

5. The FULL NAMES and FULL ADDRESSES of ALL PERSONS, if any, WHO HOLD TITLE with the undersigned as JOINT TENANTS or as TENANTS IN COMMON are:

NAMES	ADDRESSES

- A work of improvement on the property hereinafter described was COMPLETED on April 12, 1957.
- The NAME OF THE CONTRACTOR, if any, for such work of improvement was Ernest W. Hahn, Inc., 219 S. Hawthorne Blvd., Hawthorne, Calif.
(If no contractor for work of improvement as a whole, insert "none".)
- The property on which said work of improvement was completed is in the city of El Monte

county of Los Angeles, state of California, and is described as follows:
Lots 25-31 inclusive of Gidley-Pearson Tract, of the County of Los Angeles, State of California as per Map recorded in Book 21 Page 64 of Maps, including a portion of Rancho San Francisquito as per map in Book 1 Pages 31 and 32 of Patents, in the office of the county recorder of Los Angeles County.

9. The street address of said property is 10150 Lower Azusa Road, El Monte, California
 (If no street address has been officially assigned, insert "none".)

Dated: April 15, 1957

Signature of owner named in paragraph 2: SHOPPING BAG FOOD STORES

STATE OF CALIFORNIA }
 COUNTY OF LOS ANGELES }

By James E. Bates
 Assistant Secretary

The undersigned, being duly sworn, says: That he is the owner of the aforesaid interest or estate in the property described in the foregoing notice; that he has read the same, and knows the contents thereof, and that the facts stated therein are true.

SUBSCRIBED AND SWORN TO before me

Signature of owner named in paragraph 2

(SEAL)
 Notary public in and for said county and state.

Verification for corporate owner:

STATE OF CALIFORNIA }
 COUNTY OF LOS ANGELES }

JAMES E. BATES

being duly sworn, says:
 That he is the Assistant Secretary
 of SHOPPING BAG FOOD STORES

the corporation that executed the foregoing notice as owner of the aforesaid interest or estate in the property therein described; that he makes this verification on behalf of said corporation; that he has read said notice and knows the contents thereof, and that the facts therein stated are true.

James E. Bates
 SUBSCRIBED AND SWORN TO before me

on April 15, 1957

(SEAL) Rose M. Smith
 Notary public in and for said county and state.

SPACE BELOW FOR RECORDER'S USE ONLY

DOCUMENT NUMBER 3958

APR 16 3 15 PM '57

OFFICIAL RECORDS
 PAYEE: RECORDER
 LOS ANGELES COUNTY, CALIF.

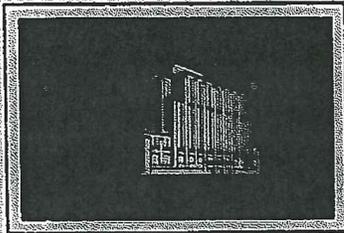
FEE \$2.00 1 M

Title Order No.

Escrow or Loan No.

Recorded at the request of:

WHEN RECORDED MAIL TO
JAMES E. BATES
JOHNSON, BATES & SHIFFIELD
727 W. 7th St., Room 340
Los Angeles, 17, Calif.



TITLE INSURANCE AND TRUST COMPANY

INCORPORATED 1893

HOME OFFICE

433 SOUTH SPRING STREET, LOS ANGELES 13

Title Company Requirements as to Notice of Completion

DO NOT RECORD

A notice of completion must be filed for record within 10 days after completion of the work of improvement (to be computed exclusive of the day of completion) as provided in section 11931, Code of Civil Procedure. If the land is registered under the Land Title Law (Torrens), the notice must be both recorded and registered.

The owner who must file for record a notice of completion of a building or other work of improvement means the owner for his successor in interest at the date the notice is filed, or when the work was done, though his ownership is less than the fee title. For example, if A is the owner in fee, and B, lessor, under a lease, causes a building to be constructed, then B, or whoever has succeeded to his interest at the date the notice is filed, must file the notice.

If the ownership is in *two or more persons as joint tenants or tenants in common*, the notice may be signed by any one of the co-owners (in fact, the foregoing form is designed for signing of the notice by only one co-tenant), but the names and addresses of the other co-owners must be stated in paragraph 5 of the form.

In paragraphs 3 and 7, the full address called for should include street number, city, county and state.

As to paragraphs 6 and 7, the form should be used only where the notice of completion covers the work of improvement as a whole. If the improvement is to be given only of completion of a particular contract, where the work of improvement is made pursuant to two or more original contracts, this form must be modified as follows: (1) Strike the words "A work of improvement" from paragraph 6 and insert a general statement of the kind of work done or materials furnished pursuant to such contract (e.g., "The foundations for the improvements"); (2) Insert the name of the contractor under the particular contract in paragraph 7.

In paragraph 7 of the notice, insert the name of the contractor for the work of improvement as a whole. No contractor's name need be given if there is no general contractor, e.g., on so-called "owner-builder jobs."

In paragraph 8, insert the full legal description, and merely a street address or tax description. Refer to deed or policy of title insurance. If the same provided for description is not sufficient, a rider may be attached.

In paragraph 9, show the street address, if any, assigned to the property by any competent public or governmental authority.

This form may be used for notice of completion given by a partnership, but in such instance a special form of verification must be used or the corporate form modified.

RECORDING REQUESTED BY

AND WHEN RECORDED MAIL TO

Name
Street Address
City & State

ERNEST W. HAHN INC.
219 So. Hawthorne Blvd.
Hawthorne, Calif.

4823

RECORDED IN OFFICIAL RECORDS
OF LOS ANGELES COUNTY, CALIF.
38 Min. 8 P.M. JAN 16 1962
RAY E. LEE, County Recorder

FEE
\$2.80
28

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Notice of Completion

Before execution, refer to title company requirements stated on reverse side.

Notice is hereby given that:

- The undersigned is owner of the interest or estate stated below in the property hereinafter described.
- The full name of the undersigned is Von's Grocery Company
- The full address of the undersigned is 10150 Lower Azusa Road, El Monte, California
- The nature of the title of the undersigned is: In fee.
(If other than fee, strike "In fee" and insert, for example, "purchaser under contract of purchase," or "lease.")
- The full names and full addresses of all persons, if any, who hold title with the undersigned as joint tenants or as tenants in common are:

NAMES	ADDRESSES
<u>Von's Grocery Company</u>	<u>10150 Lower Azusa Road</u> <u>El Monte, California</u>
- The names of the predecessors in interest of the undersigned, if the property was transferred subsequent to the commencement of the work of improvement herein referred to:

NAMES	ADDRESSES

(If no transfer made, insert "none".)
- A work of improvement on the property hereinafter described was completed on January 12, 1962
- The name of the contractor, if any, for such work of improvement was Ernest W. Hahn Inc. et al
(If no contractor for work of improvement as a whole, insert "one".)
- The property on which said work of improvement was completed is in the city of El Monte, county of Los Angeles, state of California, and is described as follows:

Lots 35 and 36 of Gidley Peirson Tract per book 21, page 64 of Maps in the office of the County Recorder, Los Angeles County, State of California.

That portion of Rancho San Francisquito, in the county of Los Angeles, State of California, as per map recorded in Book 1, page 31 of Patents, in the office of the County Recorder of said county, described as follows:

Beginning at the northwesterly corner of the land conveyed to Richard D. Sheldon by deed recorded in book 1, page 352, of Deeds, records of said county; thence North 21° 15' 50" East 1215.84 feet; thence South 88° 03' 54" West 519.88 feet more or less to the easterly line of the Gidley-Peirson Tract as per map recorded in book 21 page 64 of Maps, records of said county; thence along said easterly line, South 13° 53' 04" West 1007.50 feet to the northeasterly line of the lands conveyed to Lewis Granger by deed recorded in book 15 page 558 of Deeds, records of said county; thence along said last mentioned northeasterly line, South 66° 47' 20" East 348.67 feet to the point of beginning.

Parcel 1:

Lots 25, 26, 27, 28, 29, 30 and 31 of Gidley-Peirson Tract, in the county of Los Angeles and State of California, as per map recorded in book 21 page 64 of Maps, in the office of the county recorder of said county.

Parcel 2:

That portion of the Rancho San Francisquito in the County of Los Angeles and State of California, as per map recorded in book 1 pages 31 and 32 of Patents, in the Office of the County Recorder of said County, described as follows:

Beginning at the intersection of the southerly line of Lower Azusa Road, shown as the southerly line of Lower Azusa County Road on the map of Tract No. 10992, recorded in book 193 page 1 of Maps, records of said County, with the southerly prolongation of the westerly line of lot 3 in Block "B" of said Tract No. 10992; thence along said southerly line, South 80° 02' 05" West 155.55 feet to the true point of beginning; thence south 30° 58' 00" East 628.44 feet to a line that is parallel with said southerly line and intersects the westerly line of Tract No. 18360, as per map recorded in book 333 pages 11 and 12 of Maps, records of said County, distant thereon South 9° 50' 55" East 625 feet from said southerly line; thence following the boundary lines of the land described in the deed to Clayton Foundation for Research, recorded on July 26, 1949, as Instrument No. 138 in book 30618 page 191 of Official Records of said County, as follows: South 3° 58' 00" East 21.56 feet; thence South 4° 48' 40" West 255 feet; thence South 14° 20' 41" West 375 feet; thence South 88° 03' 39" West 697.20 feet to the easterly line of the Gidley-Peirson Tract, as per map recorded in book 21 page 64 of Maps, records of said county; thence leaving the boundary line of the land described in said deed, North 13° 51' 55" East along the easterly line of said Gidley-Peirson Tract to the southerly line of said Lower Azusa Road; thence along said southerly line, North 80° 02' 05" East 474.95 feet more or less, to the true point of beginning.

Lots 32, 33 and 34 of the Gidley-Peirson Tract, in the county of Los Angeles, State of California, as per map recorded in book 21 page 64 of Maps, in the office of the county recorder of said county.

10. The street address of said property is 10150 Lower Azusa Road 916 Shirley Ave. El Monte, Calif
(If no street address has been officially assigned, insert "none".)

Dated: _____ Signature of owner named in paragraph 2 _____
By W.R. Hayden, Sr. (Corporate Seal)
(Also sign verification below at X)

STATE OF CALIFORNIA, }
COUNTY OF Los Angeles } ss.

that W.R. Hayden is the Senior Vice President of Wan's Grocery Co., being duly sworn, says:
foregoing notice as owner of the aforesaid interest or estate in the property therein described; that he makes this verification on behalf of said corporation; that he has read said notice and knows the contents thereof, and that the facts therein stated are true.

SUBSCRIBED AND SWORN TO before me
on January 12, 1962
(Seal)

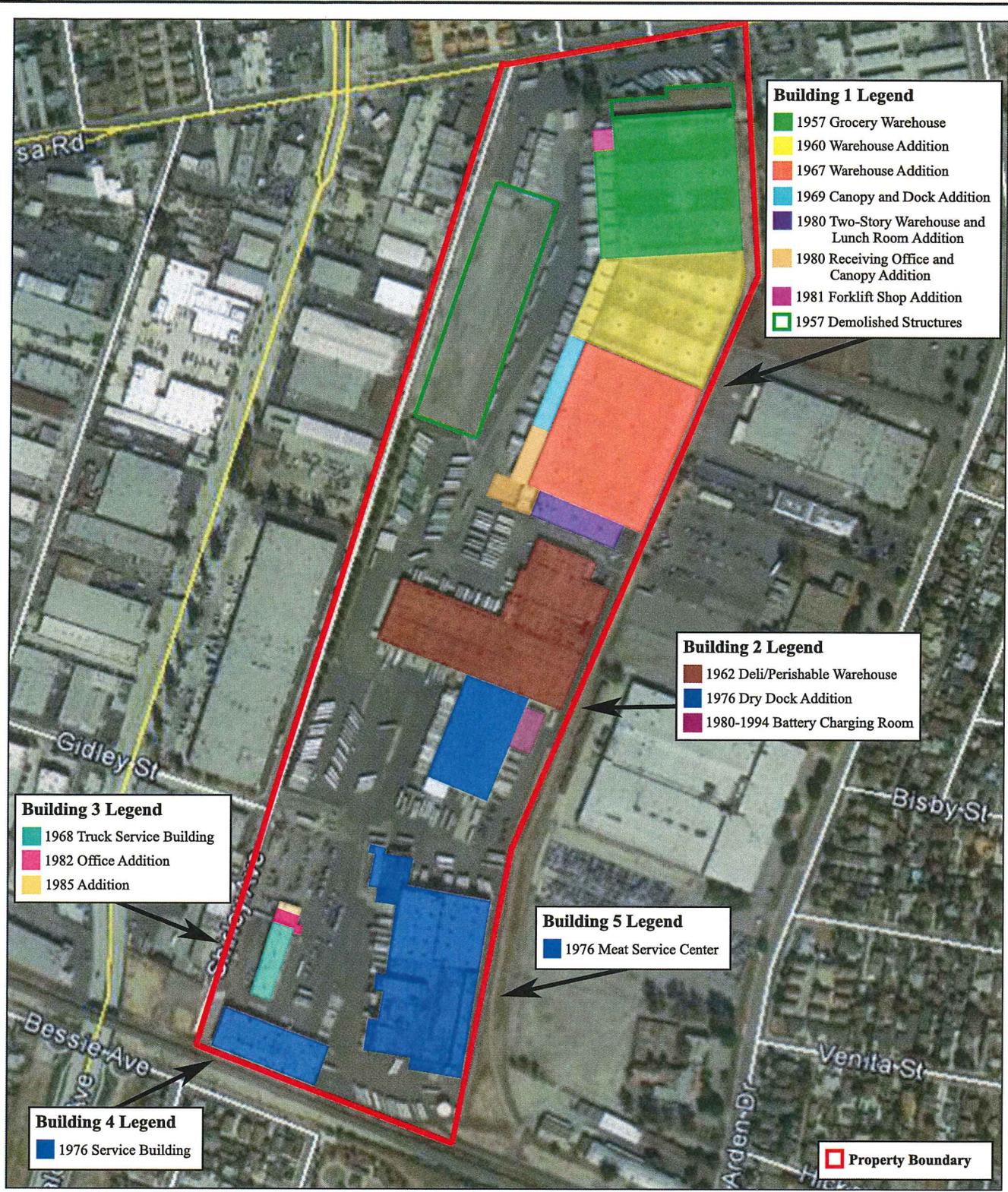
Signature Elizabeth Folger
ELIZABETH FOLGER

My Commission Expires Sept. 19, 1965
Notary Public in and for said County and State
My Commission Expires Sept. 19, 1965

DO NOT RECORD

Title Order No. _____
Escrow or Loan No. _____

SEE REVERSE SIDE FOR
TITLE COMPANY REQUIREMENTS AS TO NOTICE OF COMPLETION



Site Plan With Footprint

4300 Shirley Avenue

APPENDIX B

Ownership and Occupant Information

-Chain of Title
-City Directory

California Lot Book, Inc.
dba California Title Search Co.
P.O. Box 9004
Rancho Santa Fe, CA 92067
(858) 278-8797 Fax (858) 278-8393
WWW.LOTBOOK.COM

Chain of Title Report

Brian F. Smith and Associates
14010 Poway Rd., Ste. A
Poway, CA 92064
Attn: Jenni Stropes

CTS Reference No.: 0118484
Your Reference: Albertson's

Title Search Through:

Property Address: 10150 Lower Azusa Road
El Monte, CA 91731
(Includes 4300 & 4344 North Shirley Ave. and 10140
Lower Azusa Road)

Assessor's Parcel No.: 8577-007-010, 8577-007-011 and 8577-007-018

Assessed Value: \$83,258,618 (Combined Parcels)

Exemption: None

Property Characteristics

Use: Warehouse

Short Legal Description

PARCELS 1, 2 AND 3, IN THE CITY OF EL MONTE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON PARCEL MAP 319, FILED IN BOOK 85, PAGE 15 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AS FURTHER DESCRIBED IN DOCUMENT RECORDED MAY 26, 2016, AS FILE NO. 2016-0602077.

California Lot Book, Inc., dba California Title Search Co.
CTS Reference No.: 0118484

Chain of Title
(August 13, 1943 through January 9, 2018)

Section (A) relates to Parcel 1 of Parcel Map 319

The following documents relate to the first portion of the underlying legal description:

A-1. Grant Deed

Grantor: Chris O. Tollerup and Opal Tollerup
Grantee: Louis Christiansen
Recorded: August 13, 1943, Recorders File No. 9664

A-2. Grant Deed

Grantor: Louis Christiansen
Grantee: Von's Grocery Co.
Recorded: October 24, 1960, Recorders File No. 1283

The following documents relate to the second portion of the underlying legal description:

A-3. Grant Deed

Grantor: Edith H. Gragg, who acquired title as Edith Haines Gragg
Grantee: David Sloan and Elizabeth M. Sloan
Recorded: September 27, 1944, #703, Official Records Book 21307,
Page 170

A-4. Affidavit - Death of Joint Tenant

Decedent: David Sloan
Recorded: March 19, 1955, Recorders File No. 3770

A-5. Grant Deed

Grantor: Elizabeth M. Sloan
Grantee: Arden Farms Co.
Recorded: September 16, 1959, Recorders File No. 1502

A-6. Grant Deed

Grantor: Arden Farms Co.
Grantee: Sunfair Markets
Recorded: November 18, 1959, Recorders File No. 3289

**Please be advised that this is not Title Insurance. The information provided herein
reflects matters of public record which impart constructive notice in accordance
with California Insurance Code 12340.10**

A-7. Grant Deed

Grantor: Sunfair Markets
Grantee: Shopping Bag Food Stores, Inc.
Recorded: November 18, 1959, Recorders File No. 3290

A-8. Quitclaim Deed

Grantor: Shopping Bag Food Stores, Inc.
Grantee: Von's Grocery Co.
Recorded: September 16, 1960, Recorders File No. 3196

The following documents relate to the third portion of the underlying legal description:

A-9. Grant Deed

Grantor: Joseph Britschgi and Elsie Britschgi
Grantee: Arden Farms Co.
Recorded: July 21, 1953, Recorders File No. 1041

A-10. Corporation Grant Deed

Grantor: Arden Farms Co.
Grantee: Shopping Bag Food Stores, Inc.
Recorded: August 9, 1956, Recorders File No. 3306

A-11. Notice of Completion

Recorded: April 16, 1957, Recorders File No. 3958

A-12. Quitclaim Deed

Grantor: Shopping Bag Food Stores, Inc.
Grantee: Von's Grocery Co.
Recorded: September 16, 1960, Recorders File No. 3198

The following document relates to the current legal description:

A-13. Grant Deed

Grantor: The Vons Companies, Inc.
Grantee: GLC El Monte, LLC
Recorded: May 26, 2016, Recorders File No. 2016-0602077

Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10

Section (B) relates to Parcel 2 of Parcel Map 319

The following documents relate to the underlying legal description:

B-14. Grant Deed

Grantor: Chris Tollerup, aka Chris Olsen Tollerup, aka Christen Olsen Tollerup
Grantee: Harold Ray Tollerup and Carroll Tollerup
Recorded: April 20, 1950, Records File No. 2173

B-15. Order Settling and Approving Report of Executor, Payment of Attorney's Fees and Disbursements and for Distribution Under Will

Estate of: Carrol C. Tollerup
Distributed to: Harold R. Tollerup
Recorded: January 16, 1962, Records File No. 4899

B-16. Grant Deed

Grantor: Harold Ray Tollerup, aka Harold R. Tollerup and Barbara Tollerup
Grantee: Von's Grocery Co.
Recorded: April 25, 1963, Records File No. 2034
Relates to: A portion of the underlying

B-17. Grant Deed

Grantor: Harold Ray Tollerup, aka Harold R. Tollerup and Barbara Tollerup
Grantee: Von's Grocery Co.
Recorded: April 25, 1963, Records File No. 2036
Relates to: A portion of the underlying

The following documents relate to the current legal description:

B-18. Corporation Grant Deed

Grantor: Von's Grocery Co.
Grantee: Vons Realty Co.
Recorded: December 28, 1977, Records File No. 77-1432791

B-19. Memorandum of Lease

Lessor: Vons Realty Co.
Lessee: Vons Grocery Co.
Recorded: September 19, 1978, Records File No. 78-1036049

Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10

B-20. Assumption of Lease Obligations

Lessee: Vons Grocery Co.
Successor: HMI Holdings, Inc.
Recorded: February 6, 1986, Recordors File No. 86-157635

B-21. Assumption of Lease Obligations

Lessee: HMI Holdings, Inc.
Successor: The Vons Companies, Inc.
Recorded: July 28, 1987, Recordors File No. 87-1197853

B-22. Grant Deed

Grantor: The Vons Companies, Inc.
Grantee: GLC El Monte, LLC
Recorded: May 26, 2016, Recordors File No. 2016-0602077

Section (C) relates to Parcel 3 of Parcel Map 319

The following documents relate to the underlying legal description:

C-23. Grant Deed

Grantor: Chris Tollerup, aka Chris Olsen Tollerup, aka Christen Olsen Tollerup
Grantee: Harold Ray Tollerup and Carroll Tollerup
Recorded: April 20, 1950, Recordors File No. 2173

C-24. Order Settling and Approving Report of Executor, Payment of Attorney's Fees and Disbursements and for Distribution Under Will

Estate of: Carrol C. Tollerup
Distributed to: Harold R. Tollerup
Recorded: January 16, 1962, Recordors File No. 4899

C-25. Grant Deed

Grantor: Harold Ray Tollerup, aka Harold R. Tollerup and Barbara Tollerup
Grantee: Von's Grocery Co.
Recorded: April 25, 1963, Recordors File No. 2034

Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10

The following document relates to the current legal description:

C-26. Grant Deed

Grantor: The Vons Companies, Inc.
Grantee: GLC El Monte, LLC
Recorded: May 26, 2016, Recorders File No. 2016-0602077

– End of Report –

Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10. Note that we are not a Title Insurance Company, and that no express or implied warranty as to the accuracy or completeness of the information provided herein is granted. Our work has been performed under short time constraints with a quick turn around, and is based in part on the use of databases outside of our control. The recipient hereby acknowledges that California Lot Book, Inc. assumes no liability with respect to any errors or omissions related to the information provided herein. Also note that this search has been performed without the benefit of a Statement of Identification from the property owners, and if a search was performed for liens recorded against owner names, we cannot be sure that the information provided relates to the actual property owners, or is complete with respect to the property owners. In any event, our liability is limited to the amount of fees collected for the information provided herein.

City Directory

4344 Shirley Avenue Occupants

Year	Name
1980	Vons Grocery Company
1981	Vons Grocery Company General Office El Monte
1985	Vons Grocery Company
1986	Vons Grocery Company Distribution
1990	Vons Grocery Company
2008	Safeway Vons Distribution Center

City Directory

4300 Shirley Avenue Occupants

Year	Name
1957	Cameo Dairy Farm
1960	
2008	The Vons Company Inc.

APPENDIX C

Maps

- Figure 1: General Location Map**
- Figure 2: 1953 USGS Map**
- Figure 3: 1966 USGS Map**
- Figure 4: 1972 USGS Map**
- Figure 5: 1981 USGS Map**
- Figure 6: Current USGS Map**
- Figure 7: Original Parcel Map No. 319**
- Figure 8: Gidley-Peirson Tract**
- Figure 9: Current Assessor's Parcel Map**

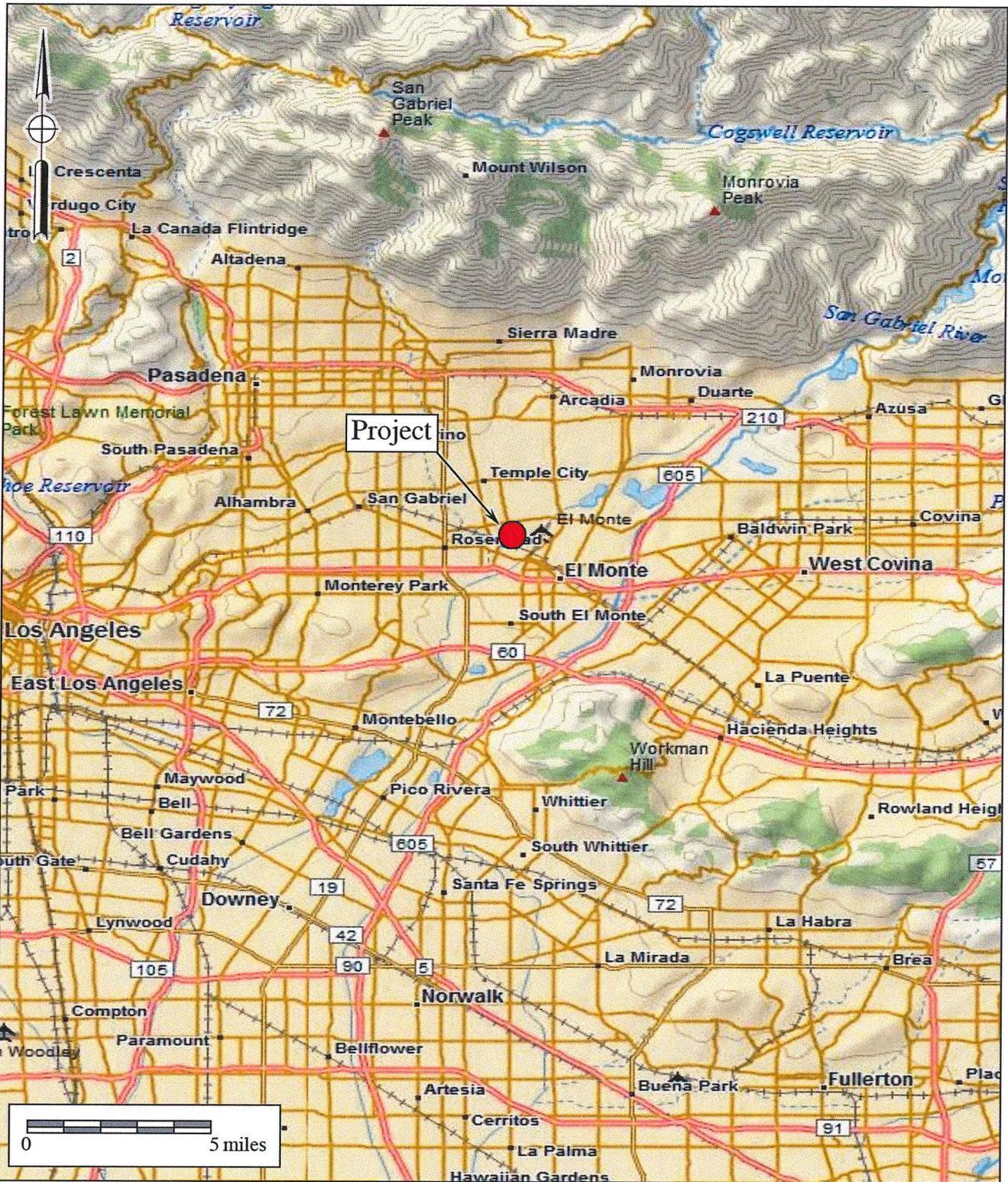


Figure 1
General Location Map

4300 Shirley Avenue

DeLorme (1:250,000)



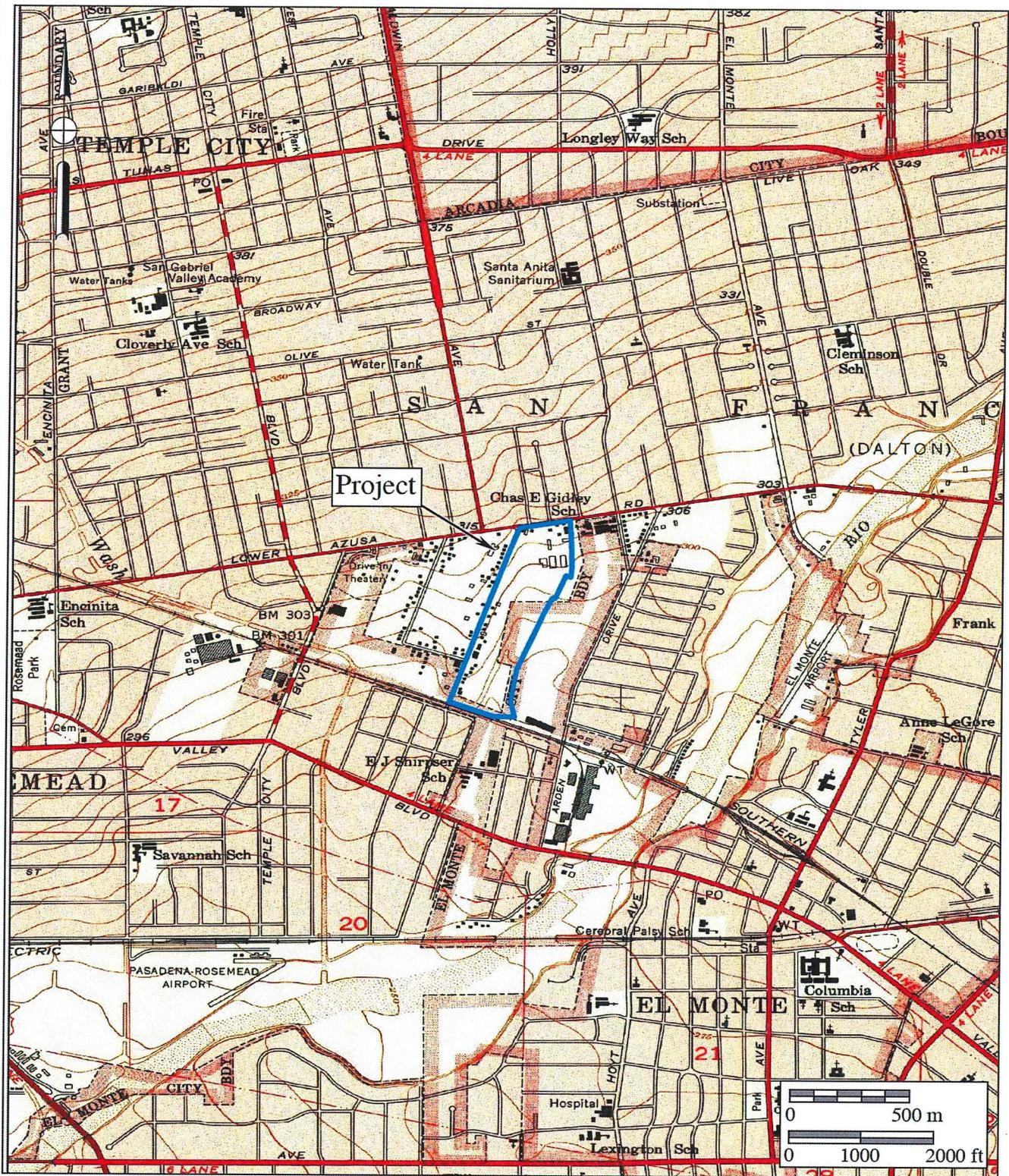


Figure 2
1953 USGS Map
 4300 Shirley Avenue

USGS El Monte Quadrangle (1:24,000 series)



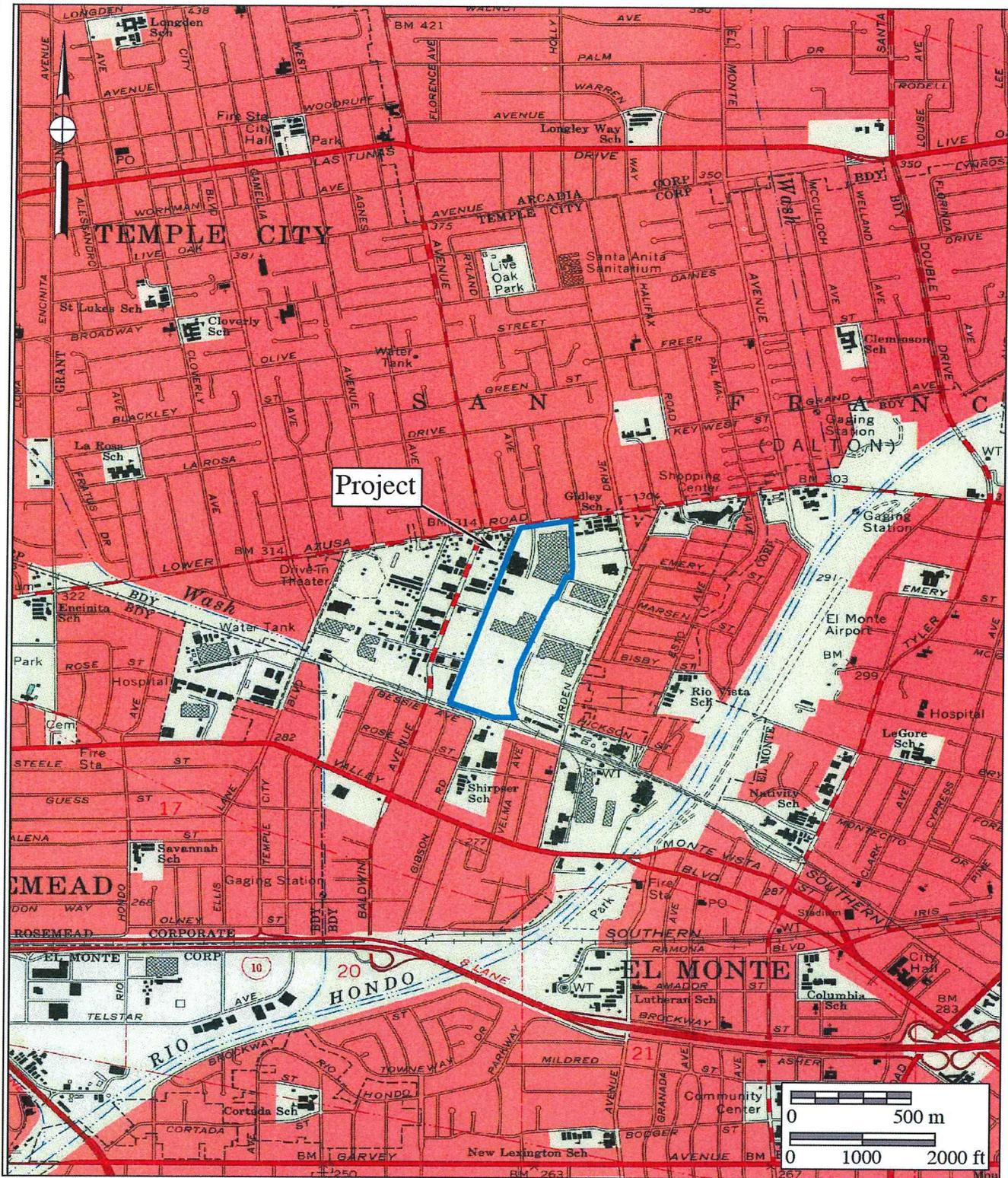


Figure 3
1966 USGS Map
 4300 Shirley Avenue

USGS El Monte Quadrangle (1:24,000 series)



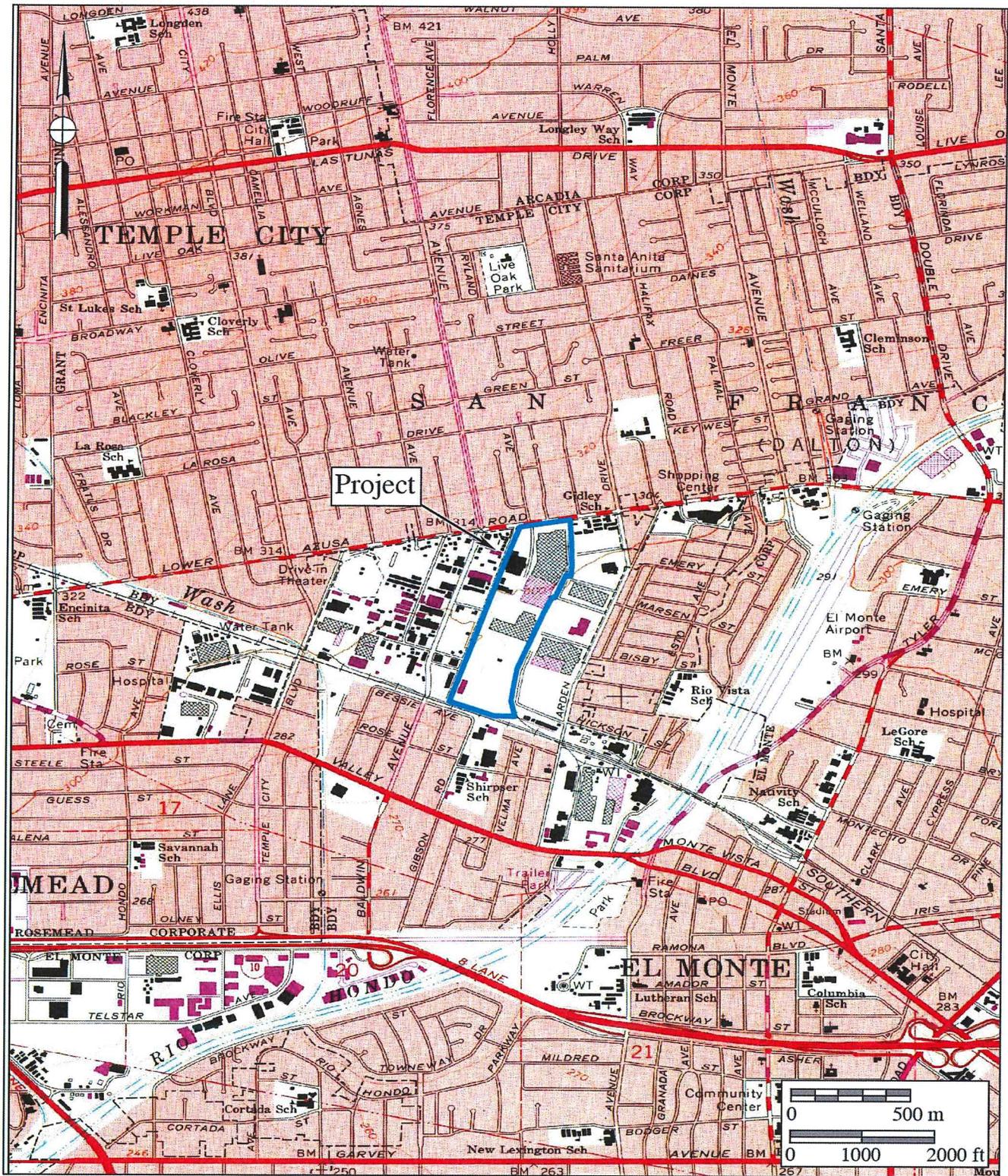


Figure 4
 1972 USGS Map
 4300 Shirley Avenue

USGS El Monte Quadrangle (1:24,000 series)



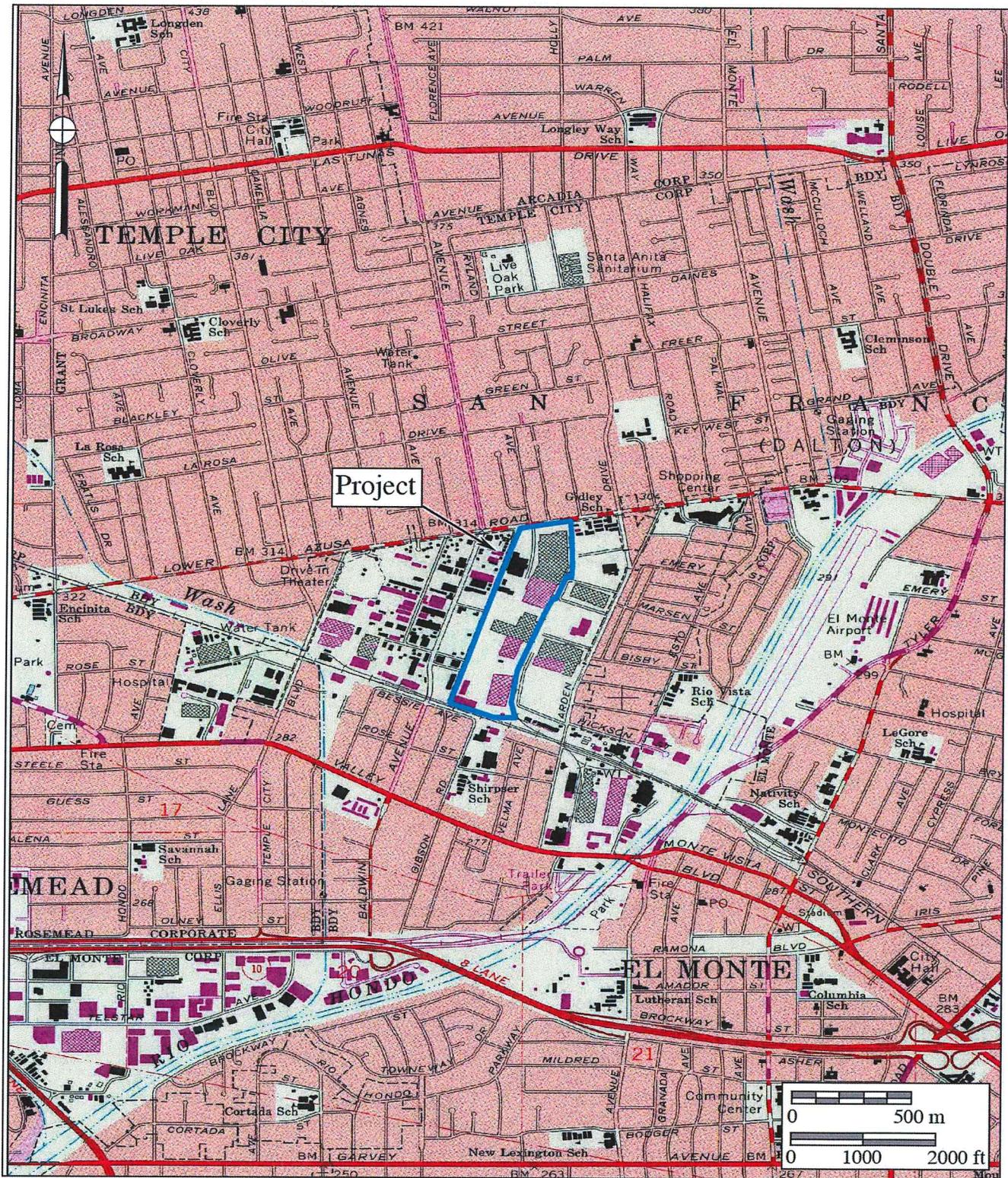


Figure 5
1981 USGS Map
 4300 Shirley Avenue

USGS El Monte Quadrangle (1:24,000 series)



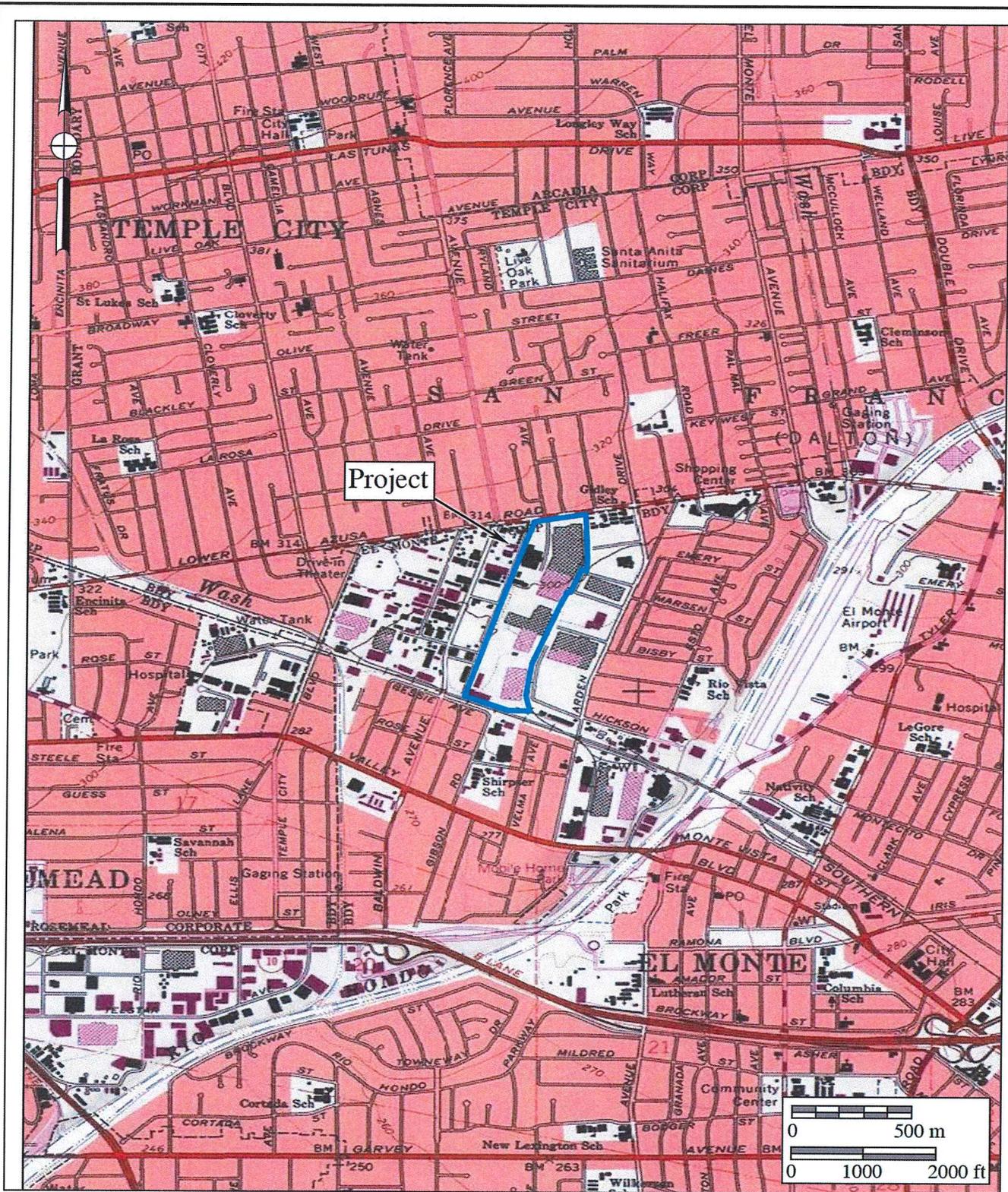


Figure 6
Current USGS Map
 4300 Shirley Avenue

USGS El Monte Quadrangle (7.5-minute series)



85/15

BOOK 85 PAGE 15

SCALE 1"=200'

PARCEL MAP NO. 319⁷⁷⁻¹⁰⁸²⁶¹⁵

IN THE CITY OF EL MONTE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA BEING A SUBDIVISION OF LOTS 25 THROUGH 46, INCLUSIVE OF GIDLEY-PEIRSON TRACT AS PER MAP RECORDED IN BOOK 21 PAGE 64 OF MAPS; A PORTION OF SHIRLEY AVE. VACATED PER ORDINANCES 830 AND 1398 OF THE CITY OF EL MONTE AND THE UPPER 500 FT. MEASURED VERTICALLY FROM THE CONTOUR OF THE SURFACE THEREOF OF PARCEL 1 OF PARCEL MAP NO. 297 FILED IN BOOK 59 PAGE 87, OF PARCEL MAPS AND A PORTION OF THE RANCHO SAN FRANCISCO AS PER MAP RECORDED IN BOOK 1 PAGES 314-32 OF PATENTS, IN THE OFFICE OF THE RECORDER OF SAID COUNTY

SHEET 1 OF 1 SHEET
FILED
AT REQUEST OF
BARRY OVERLAND VAN'S
GROCERY CO.
RECORDED
11/21/77
BOOK 85
AT PAGE 15
OF PARCEL MAPS
LOS ANGELES COUNTY, CALIF.
REGISTERED
WILLIAM C. ELLS
CIVIL ENGINEERS

We hereby certify that we are the subdividers of the land included within the subdivision shown on this map with its distinctive border lines, and we consent to the preparation and filing of said map and subdivision.

James J. Sheridan
Vice President
BARRY OVERLAND VAN'S
GROCERY CO.
El Monte, California

Kenneth O. Olson
President
WILLIAM C. ELLS
CIVIL ENGINEERS
El Monte, California

State of California } S.S.
County of Los Angeles }
On this 20 day of September, 1977 before me
James J. Sheridan, a Notary Public in and for said State,
personally appeared Kenneth O. Olson known to me to be the President
and BARRY OVERLAND VAN'S GROCERY CO. known to me to be the Vice Pres.,
Consent Agent, of WON'S GROCERY CO., the corporation that executed
the within instrument and known to me to be the persons who executed
the within instrument on behalf of the corporation herein named and
acknowledged to me that such corporation executed the same.

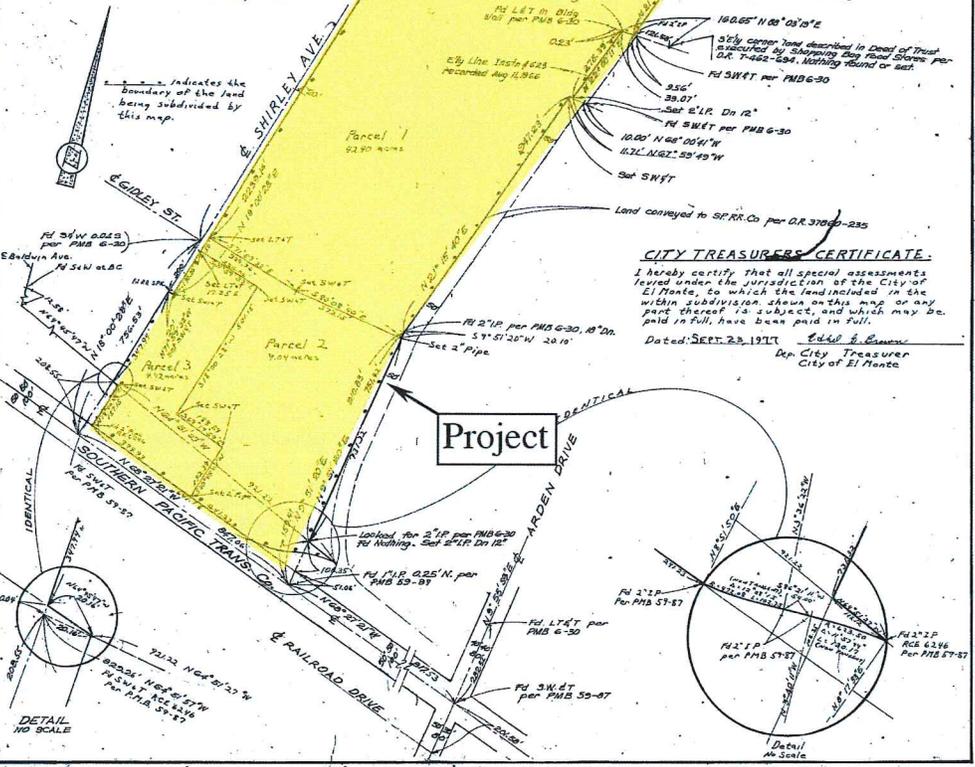
James J. Sheridan
My commission expires July 20, 1979

Basis of Bearings:
The bearing of N 11° 02' 12" E of the
centerline of Shirley Ave. as shown
on P.M.B. 6-30 was used as the
basis of bearings for this map.

Record owner is:
WON'S GROCERY CO.
A Corporation

CITY ENGINEERS CERTIFICATE
This map conforms with the requirements of
the Subdivision Map Act and local ordinance.

Dated: SEPT. 23, 1977
W. C. Ells
City Engineer



CITY TREASURER'S CERTIFICATE
I hereby certify that all special assessments
levied under the jurisdiction of the City of
El Monte, to which the land included in the
within subdivision, shown on this map or any
part thereof is subject, and which may be
paid in full, have been paid in full.

Dated: SEPT. 23, 1977
W. C. Ells
Dep. City Treasurer
City of El Monte

Project



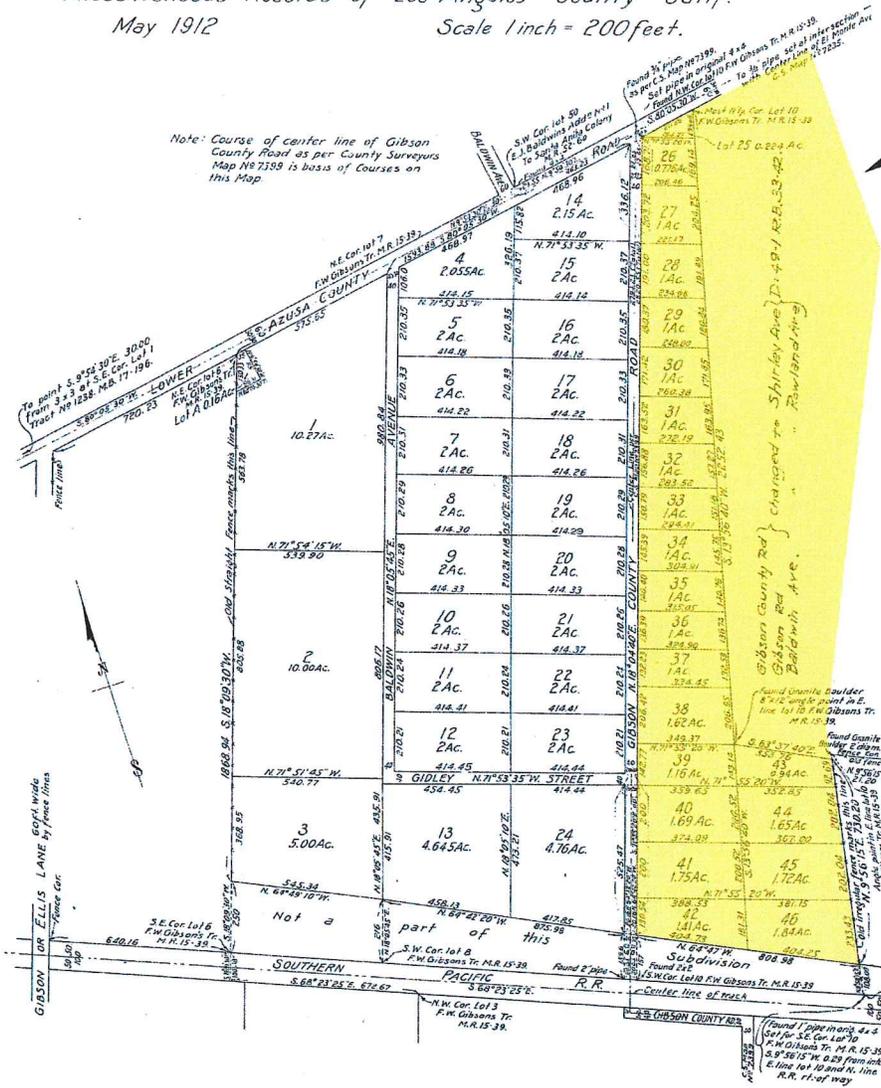
Figure 7
Original Parcel Map No. 319
4300 Shirley Avenue

dl-3-475

GIDLEY-PEIRSON TRACT

Being a Subdivision of portions of Lots 7, 8, 9, 10 of
 F.W. Gibsons Tract, as recorded in Book 15 page 39,
 Miscellaneous Records of Los Angeles County Calif.
 May 1912
 Scale 1 inch = 200 feet.

Note: Course of center line of Gibson
 County Road as per County Surveys
 Map No 7189 is basis of Courses on
 this Map



Owners :- Charles E. Gidley
 Della M. Gidley
 Clifton J. Platt
 Maybelle M. Platt
 Frank W. Peirson
 Mrs. C. Toledo Fleming
 Martin Schirmerer (Mortgagee)

For Gibson Road across R.R. R/R See D.M. 5637-195-1

Recorded Oct 8, 1912.
 Scale reduced to 1"=300'

Sh 44. A. 115.



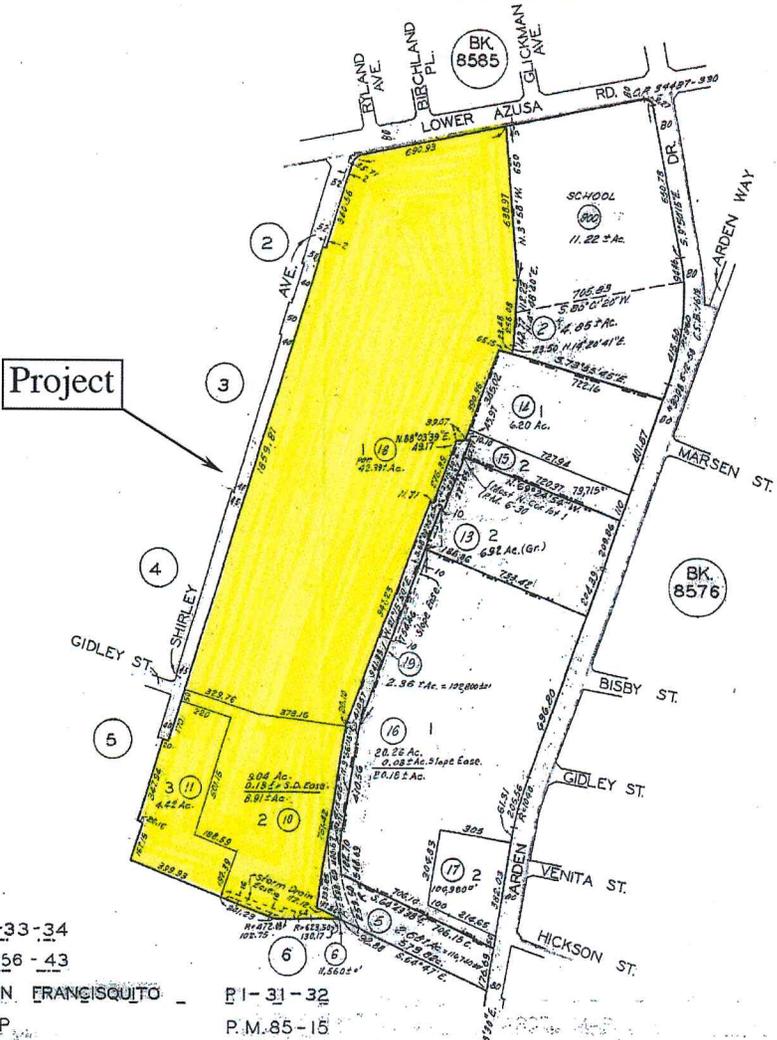
Figure 8
Gidley-Peirson Tract
 4300 Shirley Avenue

8577 7
SCALE 1" = 400'

2009



Project



680419009
480479
750286
751208104
780206810
820127403
83108108
83023107-84
9408070304001-05
540501
2009032008002001-27

CODE
11944 PARCEL MAP P. M. 163-33-34
PARCEL MAP P. M. 156-43
FOR PREV. ASSMT SEE: 270-7
RANCHO SAN FRANCISQUITO P. M. 31-32
PARCEL MAP P. M. 85-15

ASSESSOR'S MAP



Figure 9
Current Assessor's Parcel Map
4300 Shirley Avenue

APPENDIX D

DPR Forms

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
 HRI #
 Trinomial
 NRHP Status Code 6Z

Other Listings
 Review Code

Reviewer

Date

Page 1 of 3

*Resource Name or #: Grocery warehouse/office building

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: Los Angeles

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: *El Monte, California*

Date: 1957 T 1 S; R 11 W of Sec unsectioned; M.D. B.M.

c. Address: 4300 Shirley Avenue

City: El Monte

Zip: 91731

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): The building is located on Assessor's Parcel Number (APN) 8577-007-018 at 4300 Shirley Avenue, between Lower Azusa Road and the Southern Pacific Railroad line in the city of El Monte, Los Angeles County, California.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

According to the Notice of Completion and the newspaper articles, the grocery warehouse/office building was originally constructed in 1957 when the property was owned by Shopping Bag Food Stores. The office portion of the building, which was representative of the Mid-Century Modern architectural style with International influences, was demolished in 2011. The remaining portion of the building is an industrial brick masonry warehouse. The original building was designed by H.W. Underhill and constructed by Ernest Hahn. The original building consisted of a 41,600-square-foot office building (demolished in 2011) with an attached 145,160-square-foot warehouse. In 1960, a 258-by-360-foot warehouse addition was constructed onto the south façade of the building, designed in the same style as the original 1957 portion and utilizing similar (possibly from the same source) materials. In 1967, after the property had been purchased by Vons, a 254,000-square-foot warehouse addition, which includes 162,000 square feet of first floor space and 92,000 square feet of basement space (originally used for parking), was constructed onto the south façade of the building. The addition was designed by architect Donald R. Warren in a Brutalist-inspired style. The general contractor for the 1967 addition was Hahn Co., operated by Ernest Hahn; however, the appearance of the 1967 addition is different than the 1957 and 1960 portions of the building. In 1969, an approximately 8,400-square-foot canopy and dock addition was constructed onto the west façade of the 1967 addition. In 1980, a two-story warehouse and lunch room addition was constructed onto the south façade of the building, also designed by Donald R. Warren in the Brutalist architectural style. In 1981, a 2,000-square-foot forklift shop building was constructed at the northwest corner of the building, off the original 1957 portion. Following the demolition of the 1957 office in 2011, a large stucco wall was constructed onto the north façade of the building.

*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 Story Commercial Building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing



*P5b. Description of Photo: (View, date, accession #) West façade of the grocery warehouse/office building, 2018

*P6. Date Constructed/Age and Sources: 1957, Notice of Completion

Historic. Prehistoric Both

*P7. Owner and Address:
 GLC El Monte, LLC
 4300 Shirley Avenue
 El Monte, California 91731

*P8. Recorded by: (Name, affiliation, and address)

J.R.K. Stropes and Brian F. Smith
 Brian F. Smith and Associates, Inc.
 14010 Poway Road, Suite A
 Poway, California 92064

*P9. Date Recorded: 2/7/18

*P10. Survey Type: (Describe)
 Historic Structure Survey

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")
 Stropes, J.R.K. and Brian F. Smith. 2018. Historic Structure Assessment for 4300 Shirley Avenue, El Monte, California.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or #: Grocery warehouse/office building

- B1. Historic Name: Shopping Bag Food Stores Office/Warehouse
- B2. Common Name: Vons Distribution Center Warehouse
- B3. Original Use: Grocery warehouse/office building
- B4. Present Use: Grocery warehouse

*B5. Architectural Style: Mid-Century Modern/Industrial

*B6. Construction History (Construction date, alterations, and date of alterations): Built in 1957; 1960 warehouse addition; 1967 warehouse addition; 1969 canopy and dock addition; 1980 two-story warehouse and lunch room addition; 1980 receiving office and canopy addition; 1981 forklift shop addition; 2011 demolition of office portion of original building.

*B7. Moved? No Yes Unknown Date: N/A Original Location: Same

*B8. Related Features: None

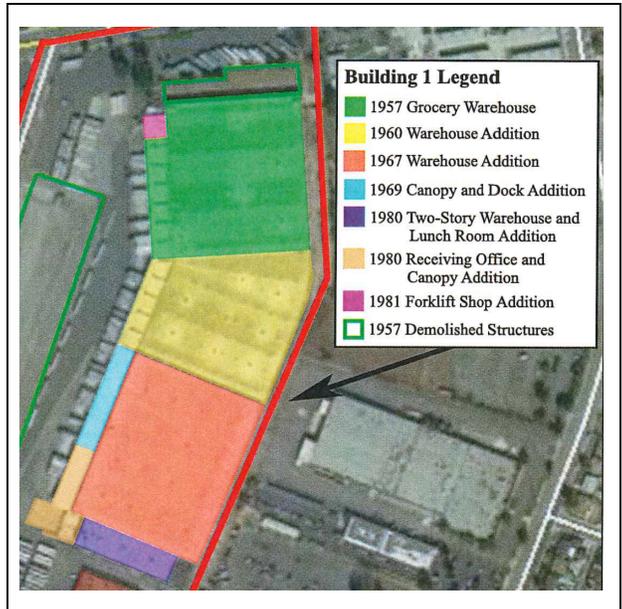
B9a. Architect: H.W. Underhill (1957); Donald R. Warren (1967, 1980) b. Builder: Ernest Hahn (1957); Hahn Co. (1967)

*B10. Significance Theme: Area: El Monte

Period of Significance: Property Type: 1-3 Story Commercial Building Applicable Criteria: None

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The grocery warehouse/office building was originally constructed in 1957 as a combination warehouse and office building. The building was designed by H.W. Underhill and constructed by Ernest Hahn. In 1960, a 258-by-360-foot warehouse addition was constructed onto the south façade of the building. No building permits could be located for the 1960 addition; however, it was designed in the same style as the original 1957 portion and utilized similar (possibly from the same source) materials. The 1960 addition exhibits three metal sliding and two metal roll-top dock doors on the east façade and three aluminum roll-top dock doors on the west façade, all of which match the doors on the original 1957 portion of the building. A raised concrete platform runs the length of the 1960 addition west façade. In 1967, a 254,000-square-foot warehouse addition, which includes 162,000 square feet of first floor space and 92,000 square feet of basement space (originally used for parking), was constructed on the south façade of the building. Designed by architect Donald R. Warren in a Brutalist-inspired style, the addition is visually different from the remainder of the building and utilizes different, newer materials. The 1967 addition consists of poured concrete walls instead of brick and exhibits six metal sliding dock doors with metal shed roofs on the east façade and four modern PVC roller loading dock doors on the west façade. Along the west façade of the 1957 to 1967 portions of the building are a total of 189 truck spaces, each equipped with dock levelers. The general contractor for the 1967 addition was Hahn Co., operated by Ernest Hahn; however, the appearance of the 1967 addition is different than the 1957 and 1960 portions of the building. In 1969, an approximately 8,400-square-foot canopy and dock were constructed on the west façade of the 1967 addition. In 1980, a two-story warehouse and lunch room addition was constructed onto the south façade of the building. The addition was designed by Donald R. Warren in the Brutalist architectural style with concrete exterior walls, repetitive vertical accents on the southern wall, and fixed-pane, steel-framed windows. The construction of the addition blocked access to the subterranean parking area on the south façade of the 1967 addition; as such, the 1967 addition parking area was converted to warehouse space and enclosed with concrete blocks. The west façade of the 1980 addition exhibits seven loading bays equipped with dock levelers and metal roll-up doors. Also in 1980, a receiving office constructed of plywood and a metal canopy were installed at the southwest corner of the building. In 1981, a 2,000-square-foot, metal-framed forklift shop building with corrugated metal walls and roofing was constructed at the northwest corner of the building. The building, as it currently stands, does not represent an exemplary form of historical, archaeological, cultural, economic, political, aesthetic, landscape, or architectural development, nor is it associated with any noteworthy individuals. In addition, the building has suffered impacts to its integrity due to the removal of the office in 2011 and several additions between 1960 and 1981. Therefore, the grocery warehouse/office building is determined to be ineligible for listing on the California Register of Historical Resources (CRHR) under any designation criteria. Because the grocery warehouse/office building has been evaluated as ineligible for listing on the CRHR, removal of the building will not pose a negative impact on the history, or the overall character, of the surrounding neighborhood.



(This space reserved for official comments.)

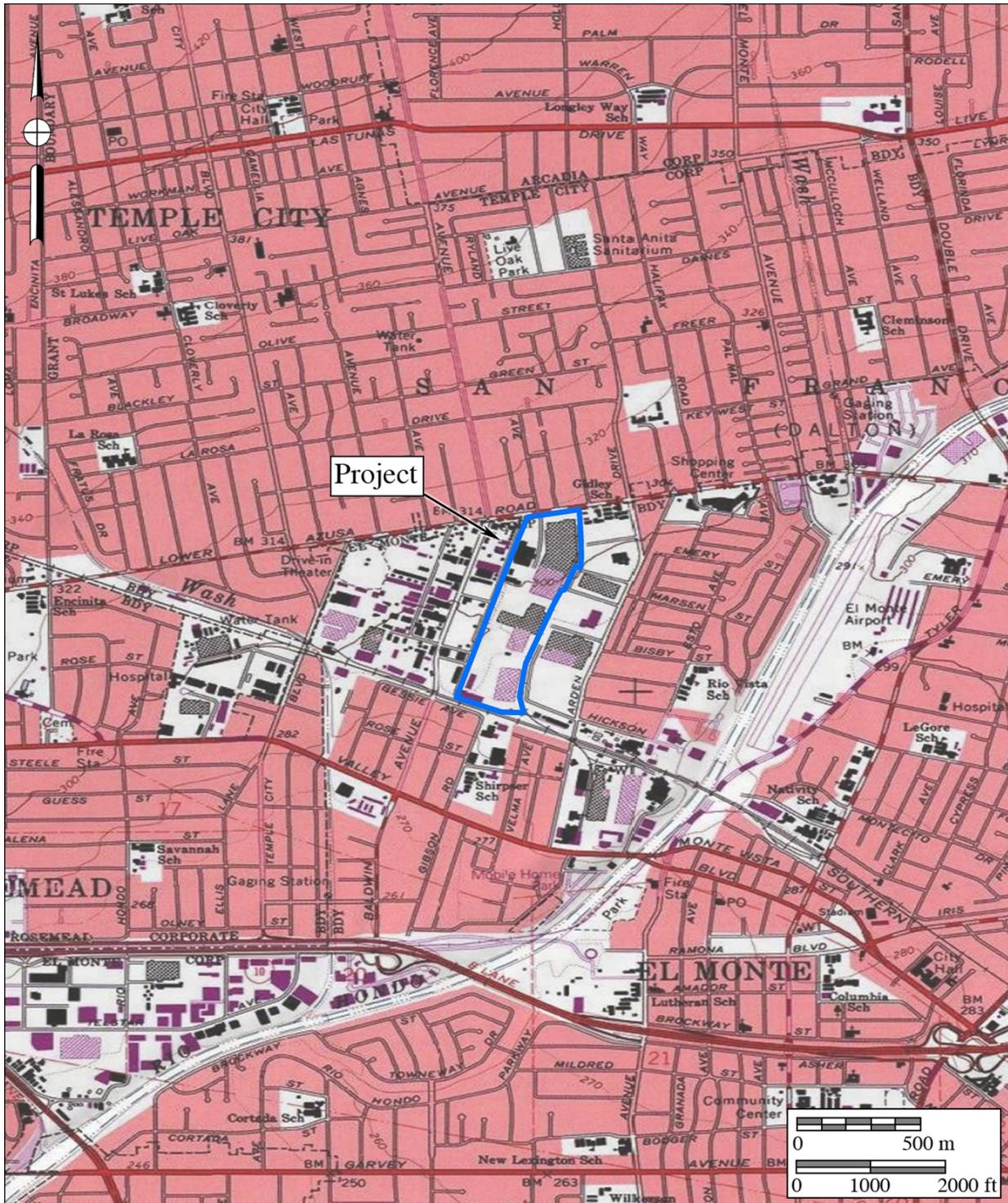
B11. Additional Resource Attributes (List attributes and codes): None

*B12. References: Stropes, J.R.K. and Brian F. Smith. 2018. Historic Structure Assessment for 4300 Shirley Avenue, El Monte, California.

B13. Remarks: None

*B14. Evaluator: J.R.K. Stropes and Brian F. Smith

*Date of Evaluation: 2/7/18



State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
 HRI #
 Trinomial
 NRHP Status Code 6Z

Other Listings
 Review Code

Reviewer

Date

Page 1 of 3

*Resource Name or #: Deli/perishable warehouse

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: Los Angeles

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: *El Monte, California*

Date: 1962 T 1 S; R 11 W of Sec unsectioned; M.D.B.M. San Bernardino

c. Address: 4300 Shirley Avenue

City: El Monte

Zip: 91731

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): The building is located on Assessor's Parcel Number (APN) 8577-007-018 at 4300 Shirley Avenue, between Lower Azusa Road and the Southern Pacific Railroad line in the city of El Monte, Los Angeles County, California.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

According to the Notice of Completion, the deli/perishable warehouse was originally constructed in 1962 in the International architectural style. The building was designed by A.C. Martin and constructed by Ernest Hahn. The original building consisted of a 161,000-square-foot, "L"-shaped produce dock and delicatessen kitchen warehouse. In 1976, a 198-by-328-foot dry dock and subterranean "deli warehouse" were constructed onto the south side of the original 1962 building. The 1976 dry dock addition was constructed by an unknown designer and an unknown contractor. Between 1980 and 1994, a 55-by-125-foot battery charging room was constructed on the east façade of the 1976 addition.

***P3b. Resource Attributes:** (List attributes and codes) HP6. 1-3 Story Commercial Building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (View, date, accession #) North façade of the deli/perishable warehouse, 2018

*P6. Date Constructed/Age and Sources: 1962

Historic Prehistoric Both

*P7. Owner and Address:

GLC El Monte, LLC
 4300 Shirley Avenue
 El Monte, California 91731

*P8. Recorded by: (Name, affiliation, and address)

J.R.K. Stropes and Brian F. Smith
 Brian F. Smith and Associates, Inc.
 14010 Poway Road, Suite A
 Poway, California 92064

*P9. Date Recorded: 2/7/18

*P10. Survey Type: (Describe)

Historic Structure Survey

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

Stropes, J.R.K. and Brian F. Smith. 2018. Historic Structure Assessment for 4300 Shirley Avenue, El Monte, California.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or #: Deli/perishable warehouse

B1. Historic Name: Vons Deli Kitchen and Warehouse

B2. Common Name: Vons Deli Kitchen and Warehouse

B3. Original Use: Deli/perishable warehouse

B4. Present Use: Deli-perishable/warehouse

*B5. Architectural Style: International/Industrial

*B6. Construction History (Construction date, alterations, and date of alterations): Built in 1962; 1976 dry dock additions; 1980 to 1994 battery charging room.

*B7. Moved? No Yes Unknown Date: N/A

Original Location: Same

*B8. Related Features: None

B9a. Architect: A.C. Martin (1962)

b. Builder: Ernest Hahn (1962)

*B10. Significance

Theme:

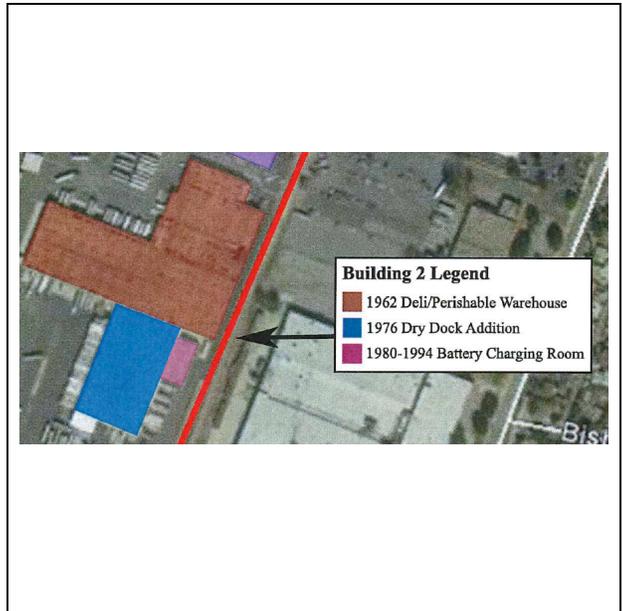
Area: El Monte

Period of Significance:

Property Type: 1-3 Story Commercial Building Applicable Criteria: None

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

In 1962, the deli/perishable warehouse was constructed as an International-style, 161,000-square-foot, "L"-shaped produce dock and delicatessen kitchen warehouse. The architect for the building was A.C. Martin and the contractor was Ernest Hahn. The footings of the original building consist of brick masonry and poured concrete, while the exterior walls are unfinished and painted masonry brick, painted concrete and concrete block, painted stucco, and painted corrugated metal. Horizontal bands of fixed-pane, metal-framed windows are located on the north and west façades of the delicatessen kitchen warehouse portion of the building. The west façade of the delicatessen kitchen warehouse also exhibits a cantilevered "eyebrow overhang." The produce dock portion of the building houses 54 loading bays that exhibit sectional, sliding metal doors, which when pulled up rest inside the door header. Two older, roll-top-style loading doors are located at the southeast corner of the produce dock. The lack of loading doors on the east façade of the produce dock indicates that the railroad spur line was likely less integral to the operation of the facility by 1962. This might be related to the signing of I-10 in 1958 and its subsequent use as a major interstate, which replaced rail deliveries with trucks. In 1976, a 198-by-328-foot dry dock, which houses 36 truck spaces with dock levers on the west and east façades, and subterranean "deli warehouse" were constructed onto the south side of the original 1962 building. The 1976 dry dock addition was constructed by an unknown designer and an unknown contractor. The addition does not appear to have been designed in any particular architectural style and can be classified as an industrial utilitarian structure. Aerial photographs indicate that prior to the construction of the dry dock, the south façade of the deli/perishable warehouse exhibited numerous loading bays. The roof on the south façade is flat and wood-framed with plywood sheathing. The walls of the first floor of the "deli warehouse" are clad in corrugated metal. The subterranean level of the "deli warehouse" on the southeast corner is comprised of cast-in-place concrete and concrete block retaining walls with a concrete slab roof, which is supported by concrete beams and columns and framed with structural steel with metal decking. Exterior doors are comprised of hollow or insulated metal with glass inserts and wood or steel framing. The concrete block wall at the southeast corner of the building is part of the overall foundation system. Between 1980 and 1994, a 55-by-125-foot battery charging room was constructed on the east façade of the 1976 addition. The walls of the battery charging room are painted corrugated metal with a rectangular hole, which likely housed a window, on the south façade. The building does not represent an exemplary form of historical, archaeological, cultural, economic, political, aesthetic, landscape, or architectural development, nor is it associated with any noteworthy individuals. In addition, the building has suffered impacts to its integrity due to additions to the building constructed in 1976 and between 1980 and 1994. Therefore, the deli/perishable warehouse is determined to be ineligible for listing on the California Register of Historical Resources (CRHR) under any designation criteria. Because the deli/perishable warehouse has been evaluated as ineligible for listing on the CRHR, removal of the building will not pose a negative impact on the history, or the overall character, of the surrounding neighborhood.



(This space reserved for official comments.)

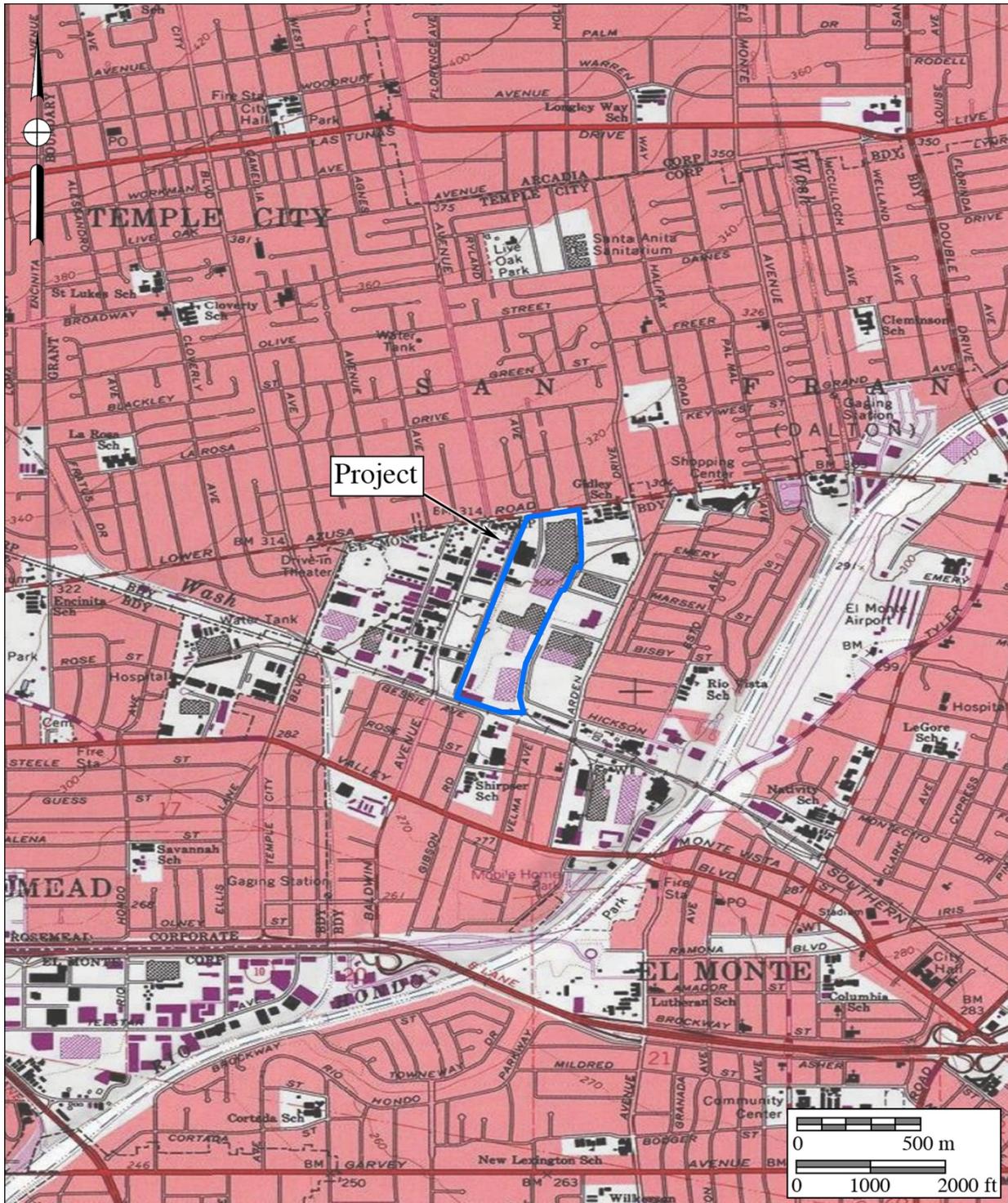
B11. Additional Resource Attributes (List attributes and codes): None

*B12. References: Stropes, J.R.K. and Brian F. Smith. 2018. Historic Structure Assessment for 4300 Shirley Avenue, El Monte, California.

B13. Remarks: None

*B14. Evaluator: J.R.K. Stropes and Brian F. Smith

*Date of Evaluation: 2/7/18



State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
 HRI #
 Trinomial
 NRHP Status Code 6Z

Other Listings
 Review Code

Reviewer

Date

Page 1 of 3

*Resource Name or #: Truck service building

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: Los Angeles

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: *El Monte, California*

Date: 1968 T 1 S; R 11 W of Sec unsectioned; M.D.B.M. San Bernardino

c. Address: 4300 Shirley Avenue

City: El Monte

Zip: 91731

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): The building is located on Assessor's Parcel Number (APN) 8577-007-011 at 4300 Shirley Avenue, between Lower Azusa Road and the Southern Pacific Railroad line in the city of El Monte, Los Angeles County, California.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

According to fire inspection records, the truck service building was originally designed as a simple, rectangular, utilitarian building with wood framing and corrugated metal walls in 1968. The building was not designed in any specific architectural style. In 1982, a 696-square-foot office space addition was constructed onto the north façade of the truck service building. The architect for the 1982 addition was Gerald Munier and the contractor was Jack Malar, Inc. In 1985, a 900-square-foot addition was constructed onto the north façade of the 1982 addition. The architect for the 1985 addition was also Gerald Munier, with contractor Alcion, Inc.

***P3b. Resource Attributes:** (List attributes and codes) HP6. 1-3 Story Commercial Building

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing



P5b. Description of Photo: (View, date, accession #) Northeast corner of the truck service building, 2018

*P6. Date Constructed/Age and Sources: 1968

Historic Prehistoric Both

*P7. Owner and Address:

GLC El Monte, LLC
 4300 Shirley Avenue
 El Monte, California 91731

*P8. Recorded by: (Name, affiliation, and address)

J.R.K. Stropes and Brian F. Smith
 Brian F. Smith and Associates, Inc.
 14010 Poway Road, Suite A
 Poway, California 92064

*P9. Date Recorded: 2/7/18

*P10. Survey Type: (Describe)

Historic Structure Survey

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

Stropes, J.R.K. and Brian F. Smith. 2018. Historic Structure Assessment for 4300 Shirley Avenue, El Monte, California.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or #: Truck service building

B1. Historic Name: Vons Truck Service Building

B2. Common Name: Vons Truck Service Building

B3. Original Use: Truck service building

B4. Present Use: Truck service building

*B5. Architectural Style: Industrial/Utilitarian

*B6. Construction History (Construction date, alterations, and date of alterations): Built in 1968; 1982 office addition; 1985 addition.

*B7. Moved? No Yes Unknown Date: N/A

Original Location: Same

*B8. Related Features: None

B9a. Architect: Gerald Munier (1982, 1985)

b. Builder: Jack Malar, Inc. (1982); Alcion, Inc. (1985)

*B10. Significance Theme:

Area: El Monte

Period of Significance:

Property Type: 1-3 Story Commercial Building Applicable Criteria: None

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The truck service building was constructed in 1968. The building was not constructed in any specific style and can be classified as a utilitarian, industrial structure. No building permits could be located for the 1968 structure; however, it is not present in aerial photographs in 1964 but is present in its current location by 1972. In addition, a fire suppression system diagram generated by the Los Angeles County Fire Department, which is in charge of conducting building fire safety inspections, lists the construction date for the building as 1968. The building has operated as a truck servicing facility since its construction. The truck service building was originally rectangular in shape, constructed with a flat roof, a wood and steel frame, and corrugated metal siding. There are eight vehicle bays on the east façade and eight vehicle bays on the west façade, which were designed for trucks to drive through from one side to the other. Seven of these bays currently have roll-top doors. One bay on the west façade no longer connects to the east façade because the original opening has been closed off with newer corrugated metal sheeting and a small entry door and metal canopy porch have been added. The only windows on the original 1968 portion of the building are two small, aluminum-framed sliders on the east façade. Doors located on the original 1968 portion of the building are made from hollow-core metal. A likely original, metal canopy roof is located on the south façade of the building. In 1982, a 696-square-foot office space addition was constructed onto the north façade of the truck service building. The architect for the 1982 addition was Gerald Munier and the contractor was Jack Malar, Inc. In 1985, a 900-square-foot addition was constructed onto the north façade of the 1982 addition. The architect for the 1985 addition was also Gerald Munier, with contractor Alcion, Inc. The 1980s additions exhibit a flat roof and corrugated metal cladding like the original 1968 portion of the building, but with different materials. The 1980s additions also exhibit aluminum-framed, metal, sliding windows and hollow-core metal doors. The building does not represent an exemplary form of historical, archaeological, cultural, economic, political, aesthetic, landscape, or architectural development, nor is it associated with any noteworthy individuals. In addition, the building has suffered impacts to its integrity due to additions to the building constructed in 1982 and 1985. Therefore, the truck service building is determined to be ineligible for listing on the California Register of Historical Resources (CRHR) under any designation criteria. Because the truck service building has been evaluated as ineligible for listing on the CRHR, removal of the building will not pose a negative impact on the history, or the overall character, of the surrounding neighborhood.

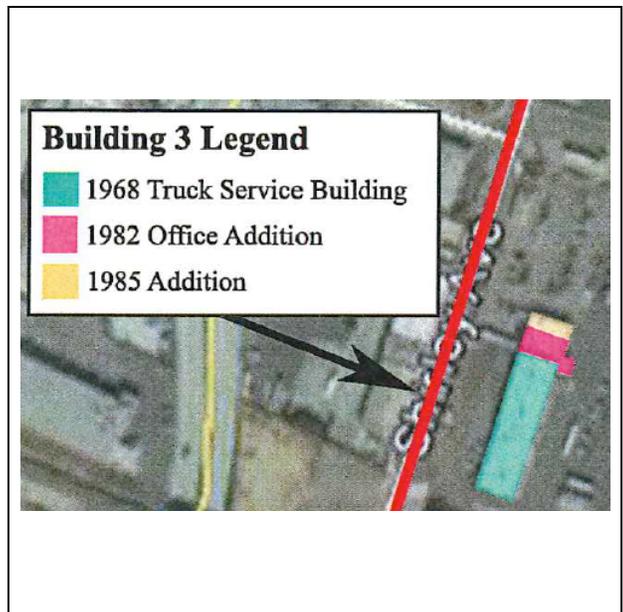
B11. Additional Resource Attributes (List attributes and codes): None

*B12. References: Stropes, J.R.K. and Brian F. Smith. 2018. Historic Structure Assessment for 4300 Shirley Avenue, El Monte, California.

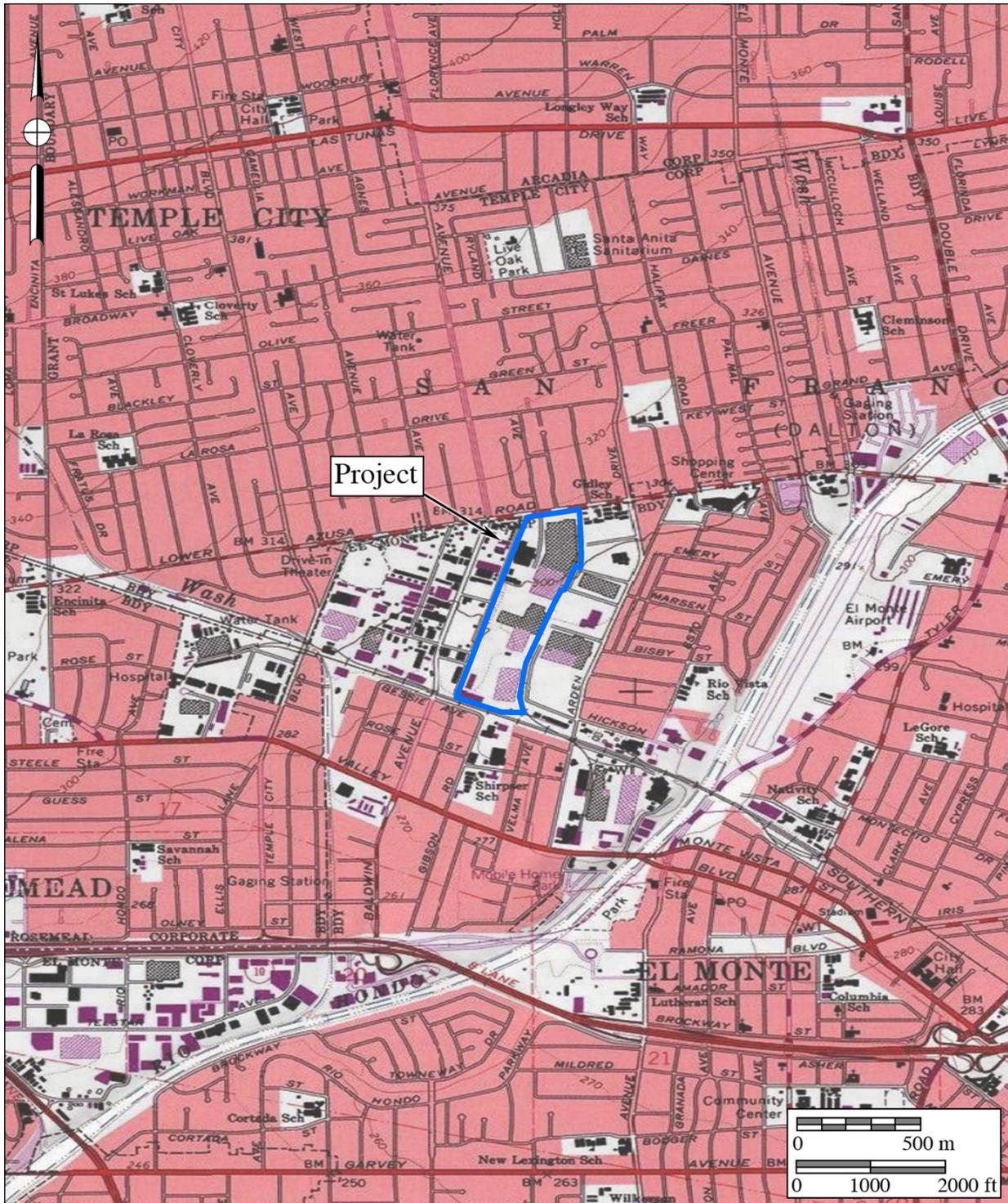
B13. Remarks: None

*B14. Evaluator: J.R.K. Stropes and Brian F. Smith

*Date of Evaluation: 2/7/18



(This space reserved for official comments.)



APPENDIX E

Preparers' Qualifications

Brian F. Smith, MA

Owner, Principal Investigator

Brian F. Smith and Associates, Inc.

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Phone: (858) 679-8218 • Fax: (858) 679-9896 • E-Mail: bsmith@bfsa-ca.com



Education

Master of Arts, History, University of San Diego, California	1982
Bachelor of Arts, History, and Anthropology, University of San Diego, California	1975

Professional Memberships

Society for California Archaeology

Experience

Principal Investigator Brian F. Smith and Associates, Inc.	1977–Present Poway, California
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Brian F. Smith is the owner and principal historical and archaeological consultant for Brian F. Smith and Associates. Over the past 32 years, he has conducted over 2,500 cultural resource studies in California, Arizona, Nevada, Montana, and Texas. These studies include every possible aspect of archaeology from literature searches and large-scale surveys to intensive data recovery excavations. Reports prepared by Mr. Smith have been submitted to all facets of local, state, and federal review agencies, including the US Army Corps of Engineers, the Bureau of Land Management, the Bureau of Reclamation, the Department of Defense, and the Department of Homeland Security. In addition, Mr. Smith has conducted studies for utility companies (Sempra Energy) and state highway departments (CalTrans).

Professional Accomplishments

These selected major professional accomplishments represent research efforts that have added significantly to the body of knowledge concerning the prehistoric life ways of cultures once present in the Southern California area and historic settlement since the late 18th century. Mr. Smith has been principal investigator on the following select projects, except where noted.

Downtown San Diego Mitigation and Monitoring Reporting Programs: Large numbers of downtown San Diego mitigation and monitoring projects submitted to the Centre City Development Corporation, some of which included Strata (2008), Hotel Indigo (2008), Lofts at 707 10th Avenue Project (2007), Breeza (2007), Bayside at the Embarcadero (2007), Aria (2007), Icon (2007), Vantage Pointe (2007), Aperture (2007), Sapphire Tower (2007), Lofts at 655 Sixth Avenue (2007), Metrowork (2007), The Legend (2006), The Mark (2006), Smart Corner (2006), Lofts at 677 7th Avenue (2005), Aloft on Cortez Hill (2005), Front and

Beech Apartments (2003), Bella Via Condominiums (2003), Acqua Vista Residential Tower (2003), Northblock Lofts (2003), Westin Park Place Hotel (2001), Parkloft Apartment Complex (2001), Renaissance Park (2001), and Laurel Bay Apartments (2001).

Archaeology at the Padres Ballpark: Involved the analysis of historic resources within a seven-block area of the "East Village" area of San Diego, where occupation spanned a period from the 1870s to the 1940s. Over a period of two years, BFSA recovered over 200,000 artifacts and hundreds of pounds of metal, construction debris, unidentified broken glass, and wood. Collectively, the Ballpark Project and the other downtown mitigation and monitoring projects represent the largest historical archaeological program anywhere in the country in the past decade (2000-2007).

4S Ranch Archaeological and Historical Cultural Resources Study: Data recovery program consisted of the excavation of over 2,000 square meters of archaeological deposits that produced over one million artifacts, containing primarily prehistoric materials. The archaeological program at 4S Ranch is the largest archaeological study ever undertaken in the San Diego County area and has produced data that has exceeded expectations regarding the resolution of long-standing research questions and regional prehistoric settlement patterns.

Charles H. Brown Site: Attracted international attention to the discovery of evidence of the antiquity of man in North America. Site located in Mission Valley, in the city of San Diego.

Del Mar Man Site: Study of the now famous Early Man Site in Del Mar, California, for the San Diego Science Foundation and the San Diego Museum of Man, under the direction of Dr. Spencer Rogers and Dr. James R. Moriarty.

Old Town State Park Projects: Consulting Historical Archaeologist. Projects completed in the Old Town State Park involved development of individual lots for commercial enterprises. The projects completed in Old Town include Archaeological and Historical Site Assessment for the Great Wall Cafe (1992), Archaeological Study for the Old Town Commercial Project (1991), and Cultural Resources Site Survey at the Old San Diego Inn (1988).

Site W-20, Del Mar, California: A two-year-long investigation of a major prehistoric site in the Del Mar area of the city of San Diego. This research effort documented the earliest practice of religious/ceremonial activities in San Diego County (circa 6,000 years ago), facilitated the projection of major non-material aspects of the La Jolla Complex, and revealed the pattern of civilization at this site over a continuous period of 5,000 years. The report for the investigation included over 600 pages, with nearly 500,000 words of text, illustrations, maps, and photographs documenting this major study.

City of San Diego Reclaimed Water Distribution System: A cultural resource study of nearly 400 miles of pipeline in the city and county of San Diego.

Master Environmental Assessment Project, City of Poway: Conducted for the City of Poway to produce a complete inventory of all recorded historic and prehistoric properties within the city. The information was used in conjunction with the City's General Plan Update to produce a map matrix of the city showing areas of high, moderate, and low potential for the presence of cultural resources. The effort also included the development of the City's Cultural Resource Guidelines, which were adopted as City policy.

Draft of the City of Carlsbad Historical and Archaeological Guidelines: Contracted by the City of Carlsbad to produce the draft of the City's historical and archaeological guidelines for use by the Planning Department of the City.

The Mid-Bayfront Project for the City of Chula Vista: Involved a large expanse of undeveloped agricultural land situated between the railroad and San Diego Bay in the northwestern portion of the city. The study included the analysis of some potentially historic features and numerous prehistoric sites.

Cultural Resources Survey and Test of Sites Within the Proposed Development of the Audie Murphy Ranch, Riverside County, California: Project manager/director of the investigation of 1,113.4 acres and 43 sites, both prehistoric and historic—including project coordination; direction of field crews; evaluation of sites for significance based on County of Riverside and CEQA guidelines; assessment of cupule, pictograph, and rock shelter sites, co-authoring of cultural resources project report. February-September 2002.

Cultural Resources Evaluation of Sites Within the Proposed Development of the Otay Ranch Village 13 Project, San Diego County, California: Project manager/director of the investigation of 1,947 acres and 76 sites, both prehistoric and historic—including project coordination and budgeting; direction of field crews; assessment of sites for significance based on County of San Diego and CEQA guidelines; co-authoring of cultural resources project report. May-November 2002.

Cultural Resources Survey for the Remote Video Surveillance Project, El Centro Sector, Imperial County: Project manager/director for a survey of 29 individual sites near the U.S./Mexico Border for proposed video surveillance camera locations associated with the San Diego Border barrier Project—project coordination and budgeting; direction of field crews; site identification and recordation; assessment of potential impacts to cultural resources; meeting and coordinating with U.S. Army Corps of Engineers, U.S. Border Patrol, and other government agencies involved; co-authoring of cultural resources project report. January, February, and July 2002.

Cultural Resources Survey and Test of Sites Within the Proposed Development of the Menifee West GPA, Riverside County, California: Project manager/director of the investigation of nine sites, both prehistoric and historic—including project coordination and budgeting; direction of field crews; assessment of sites for significance based on County of Riverside and CEQA guidelines; historic research; co-authoring of cultural resources project report. January-March 2002.

Mitigation of An Archaic Cultural Resource for the Eastlake III Woods Project for the City of Chula Vista, California: Project archaeologist/ director—including direction of field crews; development and completion of data recovery program including collection of material for specialized faunal and botanical analyses; assessment of sites for significance based on CEQA guidelines; management of artifact collections cataloging and curation; data synthesis; co-authoring of cultural resources project report, in prep. September 2001-March 2002.

Cultural Resources Survey and Test of Sites Within the Proposed French Valley Specific Plan/EIR, Riverside County, California: Project manager/director of the investigation of two prehistoric and three historic sites—including project coordination and budgeting; survey of project area; Native American consultation; direction of field crews; assessment of sites for significance based on CEQA guidelines; cultural resources project report in prep. July-August 2000.

Cultural Resources Survey and Test of Sites Within the Proposed Lawson Valley Project, San Diego County, California: Project manager/director of the investigation of 28 prehistoric and two historic sites—including project coordination; direction of field crews; assessment of sites for significance based on CEQA guidelines; cultural resources project report in prep. July-August 2000.

Cultural Resource Survey and Geotechnical Monitoring for the Mohyi Residence Project, La Jolla, California: Project manager/director of the investigation of a single-dwelling parcel—including project coordination; field survey; assessment of parcel for potentially buried cultural deposits; monitoring of geotechnical borings; authoring of cultural resources project report. Brian F. Smith and Associates, San Diego, California. June 2000.

Enhanced Cultural Resource Survey and Evaluation for the Prewitt/Schmucker/Cavadias Project, La Jolla, California: Project manager/director of the investigation of a single-dwelling parcel—including project coordination; direction of field crews; assessment of parcel for potentially buried cultural deposits; authoring of cultural resources project report. June 2000.

Cultural Resources Survey and Test of Sites Within the Proposed Development of the Menifee Ranch, Riverside County, California: Project manager/director of the investigation of one prehistoric and five historic sites—included project coordination and budgeting; direction of field crews; feature recordation; historic structure assessments; assessment of sites for significance based on CEQA guidelines; historic research; co-authoring of cultural resources project report. February-June 2000.

Salvage Mitigation of a Portion of the San Diego Presidio Identified During Water Pipe Construction for the City of San Diego, California: Project archaeologist/director—included direction of field crews; development and completion of data recovery program; management of artifact collections cataloging and curation; data synthesis and authoring of cultural resources project report in prep. April 2000.

Enhanced Cultural Resource Survey and Evaluation for the Tyrian 3 Project, La Jolla, California: Project manager/director of the investigation of a single-dwelling parcel—included project coordination; assessment of parcel for potentially buried cultural deposits; authoring of cultural resources project report. April 2000.

Enhanced Cultural Resource Survey and Evaluation for the Lamont 5 Project, Pacific Beach, California: Project manager/director of the investigation of a single-dwelling parcel—included project coordination; assessment of parcel for potentially buried cultural deposits; authoring of cultural resources project report. April 2000.

Enhanced Cultural Resource Survey and Evaluation for the Reiss Residence Project, La Jolla, California: Project manager/director of the investigation of a single-dwelling parcel—included project coordination; assessment of parcel for potentially buried cultural deposits; authoring of cultural resources project report. March-April 2000.

Salvage Mitigation of a Portion of Site SDM-W-95 (CA-SDI-211) for the Poinsettia Shores Santalina Development Project and Caltrans, Carlsbad, California: Project archaeologist/ director—included direction of field crews; development and completion of data recovery program; management of artifact collections cataloging and curation; data synthesis and authoring of cultural resources project report in prep. December 1999-January 2000.

Survey and Testing of Two Prehistoric Cultural Resources for the Airway Truck Parking Project, Otay Mesa, California: Project archaeologist/director—included direction of field crews; development and completion of testing recovery program; assessment of site for significance based on CEQA guidelines; authoring of cultural resources project report, in prep. December 1999-January 2000.

Cultural Resources Phase I and II Investigations for the Tin Can Hill Segment of the Immigration and Naturalization Services Triple Fence Project Along the International Border, San Diego County, California: Project manager/director for a survey and testing of a prehistoric quarry site along the border—NRHP eligibility assessment; project coordination and budgeting; direction of field crews; feature recordation; meeting and coordinating with U.S. Army Corps of Engineers; co-authoring of cultural resources project report. December 1999-January 2000.

Mitigation of a Prehistoric Cultural Resource for the Westview High School Project for the City of San Diego, California: Project archaeologist/ director—included direction of field crews; development and completion of data recovery program including collection of material for specialized faunal and botanical analyses; assessment of sites for significance based on CEQA guidelines; management of artifact collections cataloging and curation; data synthesis; co-authoring of cultural resources project report, in prep. October 1999-January 2000.

Mitigation of a Prehistoric Cultural Resource for the Otay Ranch SPA-One West Project for the City of Chula Vista, California: Project archaeologist/director—included direction of field crews; development of data recovery program; management of artifact collections cataloging and curation; assessment of

site for significance based on CEQA guidelines; data synthesis; authoring of cultural resources project report, in prep. September 1999-January 2000.

Monitoring of Grading for the Herschel Place Project, La Jolla, California: Project archaeologist/monitor—included monitoring of grading activities associated with the development of a single-dwelling parcel. September 1999.

Survey and Testing of a Historic Resource for the Osterkamp Development Project, Valley Center, California: Project archaeologist/ director—included direction of field crews; development and completion of data recovery program; budget development; assessment of site for significance based on CEQA guidelines; management of artifact collections cataloging and curation; data synthesis; authoring of cultural resources project report. July-August 1999.

Survey and Testing of a Prehistoric Cultural Resource for the Proposed College Boulevard Alignment Project, Carlsbad, California: Project manager/director —included direction of field crews; development and completion of testing recovery program; assessment of site for significance based on CEQA guidelines; management of artifact collections cataloging and curation; data synthesis; authoring of cultural resources project report, in prep. July-August 1999.

Survey and Evaluation of Cultural Resources for the Palomar Christian Conference Center Project, Palomar Mountain, California: Project archaeologist—included direction of field crews; assessment of sites for significance based on CEQA guidelines; management of artifact collections cataloging and curation; data synthesis; authoring of cultural resources project report. July-August 1999.

Survey and Evaluation of Cultural Resources at the Village 2 High School Site, Otay Ranch, City of Chula Vista, California: Project manager/director —management of artifact collections cataloging and curation; assessment of site for significance based on CEQA guidelines; data synthesis; authoring of cultural resources project report. July 1999.

Cultural Resources Phase I, II, and III Investigations for the Immigration and Naturalization Services Triple Fence Project Along the International Border, San Diego County, California: Project manager/director for the survey, testing, and mitigation of sites along border—supervision of multiple field crews, NRHP eligibility assessments, Native American consultation, contribution to Environmental Assessment document, lithic and marine shell analysis, authoring of cultural resources project report. August 1997-January 2000.

Phase I, II, and III Investigations for the Scripps Poway Parkway East Project, Poway California: Project archaeologist/project director—included recordation and assessment of multicomponent prehistoric and historic sites; direction of Phase II and III investigations; direction of laboratory analyses including prehistoric and historic collections; curation of collections; data synthesis; coauthorship of final cultural resources report. February 1994; March-September 1994; September-December 1995.

Archaeological Evaluation of Cultural Resources Within the Proposed Corridor for the San Elijo Water Reclamation System Project, San Elijo, California: Project manager/director —test excavations; direction of artifact identification and analysis; graphics production; coauthorship of final cultural resources report. December 1994-July 1995.

Evaluation of Cultural Resources for the Environmental Impact Report for the Rose Canyon Trunk Sewer Project, San Diego, California: Project manager/Director —direction of test excavations; identification and analysis of prehistoric and historic artifact collections; data synthesis; co-authorship of final cultural resources report, San Diego, California. June 1991-March 1992.

Reports/Papers

Author, coauthor, or contributor to over 2,500 cultural resources management publications, a selection of which are presented below.

- 2015 An Archaeological/Historical Study for the Safari Highlands Ranch Project, City of Escondido, County of San Diego.
- 2015 A Phase I and II Cultural Resources Assessment for the Decker Parcels II Project, Planning Case No. 36962, Riverside County, California.
- 2015 A Phase I and II Cultural Resources Assessment for the Decker Parcels I Project, Planning Case No. 36950, Riverside County, California.
- 2015 Cultural Resource Data Recovery and Mitigation Monitoring Program for Site SDI-10,237 Locus F, Everly Subdivision Project, El Cajon, California.
- 2015 Phase I Cultural Resource Survey for the Woodward Street Senior Housing Project, City of San Marcos, California (APN 218-120-31).
- 2015 An Updated Cultural Resource Survey for the Box Springs Project (TR 33410), APNs 255-230-010, 255-240-005, 255-240-006, and Portions of 257-180-004, 257-180-005, and 257-180-006.
- 2015 A Phase I and II Cultural Resource Report for the Lake Ranch Project, TR 36730, Riverside County, California.
- 2015 A Phase II Cultural Resource Assessment for the Munro Valley Solar Project, Inyo County, California.
- 2014 Cultural Resources Monitoring Report for the Diamond Valley Solar Project, Community of Winchester, County of Riverside.
- 2014 National Historic Preservation Act Section 106 Compliance for the Proposed Saddleback Estates Project, Riverside County, California.
- 2014 A Phase II Cultural Resource Evaluation Report for RIV-8137 at the Toscana Project, TR 36593, Riverside County, California.
- 2014 Cultural Resources Study for the Estates at Del Mar Project, City of Del Mar, San Diego, California (TTM 14-001).
- 2014 Cultural Resources Study for the Aliso Canyon Major Subdivision Project, Rancho Santa Fe, San Diego County, California.
- 2014 Cultural Resources Due Diligence Assessment of the Ocean Colony Project, City of Encinitas.
- 2014 A Phase I and Phase II Cultural Resource Assessment for the Citrus Heights II Project, TTM 36475, Riverside County, California.
- 2013 A Phase I Cultural Resource Assessment for the Modular Logistics Center, Moreno Valley, Riverside County, California.

- 2013 A Phase I Cultural Resources Survey of the Ivey Ranch Project, Thousand Palms, Riverside County, California.
- 2013 Cultural Resources Report for the Emerald Acres Project, Riverside County, California.
- 2013 A Cultural Resources Records Search and Review for the Pala Del Norte Conservation Bank Project, San Diego County, California.
- 2013 An Updated Phase I Cultural Resources Assessment for Tentative Tract Maps 36484 and 36485, Audie Murphy Ranch, City of Menifee, County of Riverside.
- 2013 El Centro Town Center Industrial Development Project (EDA Grant No. 07-01-06386); Result of Cultural Resource Monitoring.
- 2013 Cultural Resources Survey Report for the Renda Residence Project, 9521 La Jolla Farms Road, La Jolla, California.
- 2013 A Phase I Cultural Resource Study for the Ballpark Village Project, San Diego, California.
- 2013 Archaeological Monitoring and Mitigation Program, San Clemente Senior Housing Project, 2350 South El Camino Real, City of San Clemente, Orange County, California (CUP No. 06-065; APN-060-032-04).
- 2012 Mitigation Monitoring Report for the Los Peñasquitos Recycled Water Pipeline.
- 2012 Cultural Resources Report for Menifee Heights (Tract 32277).
- 2012 A Phase I Cultural Resource Study for the Altman Residence at 9696 La Jolla Farms Road, La Jolla, California 92037.
- 2012 Mission Ranch Project (TM 5290-1/MUP P87-036W3): Results of Cultural Resources Monitoring During Mass Grading.
- 2012 A Phase I Cultural Resource Study for the Payan Property Project, San Diego, California.
- 2012 Phase I Archaeological Survey of the Rieger Residence, 13707 Durango Drive, Del Mar, California 92014, APN 300-369-49.
- 2011 Mission Ranch Project (TM 5290-1/MUP P87-036W3): Results of Cultural Resources Monitoring During Mass Grading.
- 2011 Mitigation Monitoring Report for the 1887 Viking Way Project, La Jolla, California.
- 2011 Cultural Resource Monitoring Report for the Sewer Group 714 Project.
- 2011 Results of Archaeological Monitoring at the 10th Avenue Parking Lot Project, City of San Diego, California (APNs 534-194-02 and 03).
- 2011 Archaeological Survey of the Pelberg Residence for a Bulletin 560 Permit Application; 8335 Camino Del Oro; La Jolla, California 92037 APN 346-162-01-00 .
- 2011 A Cultural Resources Survey Update and Evaluation for the Robertson Ranch West Project and an Evaluation of National Register Eligibility of Archaeological sites for Sites for Section 106 Review (NHPA).
- 2011 Mitigation Monitoring Report for the 43rd and Logan Project.

- 2011 Mitigation Monitoring Report for the Sewer Group 682 M Project, City of San Diego Project #174116.
- 2011 A Phase I Cultural Resource Study for the Nooren Residence Project, 8001 Calle de la Plata, La Jolla, California, Project No. 226965.
- 2011 A Phase I Cultural Resource Study for the Keating Residence Project, 9633 La Jolla Farms Road, La Jolla, California 92037.
- 2010 Mitigation Monitoring Report for the 15th & Island Project, City of San Diego; APNs 535-365-01, 535-365-02 and 535-392-05 through 535-392-07.
- 2010 Archaeological Resource Report Form: Mitigation Monitoring of the Sewer and Water Group 772 Project, San Diego, California, W.O. Nos. 187861 and 178351.
- 2010 Pottery Canyon Site Archaeological Evaluation Project, City of San Diego, California, Contract No. H105126.
- 2010 Archaeological Resource Report Form: Mitigation Monitoring of the Racetrack View Drive Project, San Diego, California; Project No. 163216.
- 2010 A Historical Evaluation of Structures on the Butterfield Trails Property.
- 2010 Historic Archaeological Significance Evaluation of 1761 Haydn Drive, Encinitas, California (APN 260-276-07-00).
- 2010 Results of Archaeological Monitoring of the Heller/Nguyen Project, TPM 06-01, Poway, California.
- 2010 Cultural Resource Survey and Evaluation Program for the Sunday Drive Parcel Project, San Diego County, California, APN 189-281-14.
- 2010 Archaeological Resource Report Form: Mitigation Monitoring of the Emergency Garnet Avenue Storm Drain Replacement Project, San Diego, California, Project No. B10062
- 2010 An Archaeological Study for the 1912 Spindrift Drive Project
- 2009 Cultural Resource Assessment of the North Ocean Beach Gateway Project City of San Diego #64A-003A; Project #154116.
- 2009 Archaeological Constraints Study of the Morgan Valley Wind Assessment Project, Lake County, California.
- 2008 Results of an Archaeological Review of the Helen Park Lane 3.1-acre Property (APN 314-561-31), Poway, California.
- 2008 Archaeological Letter Report for a Phase I Archaeological Assessment of the Valley Park Condominium Project, Ramona, California; APN 282-262-75-00.
- 2007 Archaeology at the Ballpark. Brian F. Smith and Associates, San Diego, California. Submitted to the Centre City Development Corporation.
- 2007 Result of an Archaeological Survey for the Villages at Promenade Project (APNs 115-180-007-3, 115-180-049-1, 115-180-042-4, 115-180-047-9) in the City of Corona, Riverside County.
- 2007 Monitoring Results for the Capping of Site CA-SDI-6038/SDM-W-5517 within the Katzer Jamul Center Project; P00-017.
- 2006 Archaeological Assessment for The Johnson Project (APN 322-011-10), Poway, California.

- 2005 Results of Archaeological Monitoring at the El Camino Del Teatro Accelerated Sewer Replacement Project (Bid No. K041364; WO # 177741; CIP # 46-610.6.
- 2005 Results of Archaeological Monitoring at the Baltazar Draper Avenue Project (Project No. 15857; APN: 351-040-09).
- 2004 TM 5325 ER #03-14-043 Cultural Resources.
- 2004 An Archaeological Survey and an Evaluation of Cultural Resources at the Salt Creek Project. Report on file at Brian F. Smith and Associates.
- 2003 An Archaeological Assessment for the Hidden Meadows Project, San Diego County, TM 5174, Log No. 99-08-033. Report on file at Brian F. Smith and Associates.
- 2003 An Archaeological Survey for the Manchester Estates Project, Coastal Development Permit #02-009, Encinitas, California. Report on file at Brian F. Smith and Associates.
- 2003 Archaeological Investigations at the Manchester Estates Project, Coastal Development Permit #02-009, Encinitas, California. Report on file at Brian F. Smith and Associates.
- 2003 Archaeological Monitoring of Geological Testing Cores at the Pacific Beach Christian Church Project. Report on file at Brian F. Smith and Associates.
- 2003 San Juan Creek Drilling Archaeological Monitoring. Report on file at Brian F. Smith and Associates.
- 2003 Evaluation of Archaeological Resources Within the Spring Canyon Biological Mitigation Area, Otay Mesa, San Diego County, California. Brian F. Smith and Associates, San Diego, California.
- 2002 An Archaeological/Historical Study for the Otay Ranch Village 13 Project (et al.). Brian F. Smith and Associates, San Diego, California.
- 2002 An Archaeological/Historical Study for the Audie Murphy Ranch Project (et al.). Brian F. Smith and Associates, San Diego, California.
- 2002 Results of an Archaeological Survey for the Remote Video Surveillance Project, El Centro Sector, Imperial County, California. Brian F. Smith and Associates, San Diego, California.
- 2002 A Cultural Resources Survey and Evaluation for the Proposed Robertson Ranch Project, City of Carlsbad. Brian F. Smith and Associates, San Diego, California.
- 2002 Archaeological Mitigation of Impacts to Prehistoric Site SDI-7976 for the Eastlake III Woods Project, Chula Vista, California. Brian F. Smith and Associates, San Diego, California.
- 2002 An Archaeological/Historical Study for Tract No. 29777, Menifee West GPA Project, Perris Valley, Riverside County. Brian F. Smith and Associates, San Diego, California.
- 2002 An Archaeological/Historical Study for Tract No. 29835, Menifee West GPA Project, Perris Valley, Riverside County. Brian F. Smith and Associates, San Diego, California.
- 2001 An Archaeological Survey and Evaluation of a Cultural Resource for the Moore Property, Poway. Brian F. Smith and Associates, San Diego, California.
- 2001 An Archaeological Report for the Mitigation, Monitoring, and Reporting Program at the Water and Sewer Group Job 530A, Old Town San Diego. Brian F. Smith and Associates, San Diego, California.

- 2001 A Cultural Resources Impact Survey for the High Desert Water District Recharge Site 6 Project, Yucca Valley. Brian F. Smith and Associates, San Diego, California.
- 2001 Archaeological Mitigation of Impacts to Prehistoric Site SDI-13,864 at the Otay Ranch SPA-One West Project. Brian F. Smith and Associates, San Diego, California.
- 2001 A Cultural Resources Survey and Site Evaluations at the Stewart Subdivision Project, Moreno Valley, County of San Diego. Brian F. Smith and Associates, San Diego, California.
- 2000 An Archaeological/Historical Study for the French Valley Specific Plan/EIR, French Valley, County of Riverside. Brian F. Smith and Associates, San Diego, California.
- 2000 Results of an Archaeological Survey and the Evaluation of Cultural Resources at The TPM#24003–Lawson Valley Project. Brian F. Smith and Associates, San Diego, California.
- 2000 Archaeological Mitigation of Impacts to Prehistoric Site SDI-5326 at the Westview High School Project for the Poway Unified School District. Brian F. Smith and Associates, San Diego, California.
- 2000 An Archaeological/Historical Study for the Meniffee Ranch Project. Brian F. Smith and Associates, San Diego, California.
- 2000 An Archaeological Survey and Evaluation of Cultural Resources for the Bernardo Mountain Project, Escondido, California. Brian F. Smith and Associates, San Diego, California.
- 2000 A Cultural Resources Impact Survey for the Nextel Black Mountain Road Project, San Diego, California. Brian F. Smith and Associates, San Diego, California.
- 2000 A Cultural Resources Impact Survey for the Rancho Vista Project, 740 Hilltop Drive, Chula Vista, California. Brian F. Smith and Associates, San Diego, California.
- 2000 A Cultural Resources Impact Survey for the Poway Creek Project, Poway, California. Brian F. Smith and Associates, San Diego, California.
- 2000 Cultural Resource Survey and Geotechnical Monitoring for the Mohyi Residence Project. Brian F. Smith and Associates, San Diego, California.
- 2000 Enhanced Cultural Resource Survey and Evaluation for the Prewitt/Schmucker/ Cavadias Project. Brian F. Smith and Associates, San Diego, California.
- 2000 Enhanced Cultural Resource Survey and Evaluation for the Lamont 5 Project. Brian F. Smith and Associates, San Diego, California.
- 2000 Salvage Excavations at Site SDM-W-95 (CA-SDI-211) for the Poinsettia Shores Santalina Development Project, Carlsbad, California. Brian F. Smith and Associates, San Diego, California.
- 2000 Enhanced Cultural Resource Survey and Evaluation for the Reiss Residence Project, La Jolla, California. Brian F. Smith and Associates, San Diego, California.
- 2000 Enhanced Cultural Resource Survey and Evaluation for the Tyrian 3 Project, La Jolla, California. Brian F. Smith and Associates, San Diego, California.
- 2000 A Report for an Archaeological Evaluation of Cultural Resources at the Otay Ranch Village Two SPA, Chula Vista, California. Brian F. Smith and Associates, San Diego, California.
- 2000 An Archaeological Evaluation of Cultural Resources for the Airway Truck Parking Project, Otay Mesa, County of San Diego. Brian F. Smith and Associates, San Diego, California.

- 2000 Results of an Archaeological Survey and Evaluation of a Resource for the Tin Can Hill Segment of the Immigration and Naturalization and Immigration Service Border Road, Fence, and Lighting Project, San Diego County, California. Brian F. Smith and Associates, San Diego, California.
- 1999 An Archaeological Survey of the Home Creek Village Project, 4600 Block of Home Avenue, San Diego, California. Brian F. Smith and Associates, San Diego, California.
- 1999 An Archaeological Survey for the Sgobassi Lot Split, San Diego County, California. Brian F. Smith and Associates, San Diego, California.
- 1999 An Evaluation of Cultural Resources at the Otay Ranch Village 11 Project. Brian F. Smith and Associates, San Diego, California.
- 1999 An Archaeological/Historical Survey and Evaluation of a Cultural Resource for The Osterkamp Development Project, Valley Center, California. Brian F. Smith and Associates, San Diego, California.
- 1999 An Archaeological Survey and Evaluation of Cultural Resources for the Palomar Christian Conference Center Project, Palomar Mountain, California. Brian F. Smith and Associates, San Diego, California.
- 1999 An Archaeological Survey and Evaluation of a Cultural Resource for the Proposed College Boulevard Alignment Project. Brian F. Smith and Associates, San Diego, California.
- 1999 Results of an Archaeological Evaluation for the Anthony's Pizza Acquisition Project in Ocean Beach, City of San Diego (with L. Pierson and B. Smith). Brian F. Smith and Associates, San Diego, California.
- 1996 An Archaeological Testing Program for the Scripps Poway Parkway East Project. Brian F. Smith and Associates, San Diego, California.
- 1995 Results of a Cultural Resources Study for the 4S Ranch. Brian F. Smith and Associates, San Diego, California.
- 1995 Results of an Archaeological Evaluation of Cultural Resources Within the Proposed Corridor for the San Elijo Water Reclamation System. Brian F. Smith and Associates, San Diego, California.
- 1994 Results of the Cultural Resources Mitigation Programs at Sites SDI-11,044/H and SDI-12,038 at the Salt Creek Ranch Project. Brian F. Smith and Associates, San Diego, California.
- 1993 Results of an Archaeological Survey and Evaluation of Cultural Resources at the Stallion Oaks Ranch Project. Brian F. Smith and Associates, San Diego, California.
- 1992 Results of an Archaeological Survey and the Evaluation of Cultural Resources at the Ely Lot Split Project. Brian F. Smith and Associates, San Diego, California.
- 1991 The Results of an Archaeological Study for the Walton Development Group Project. Brian F. Smith and Associates, San Diego, California.

Jennifer R.K. Stropes, MS, RPA

Project Archaeologist/Historian

Brian F. Smith and Associates, Inc.

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Education

Master of Science, Cultural Resource Management Archaeology **2016**

St. Cloud State University, St. Cloud, Minnesota

Bachelor of Arts, Anthropology **2004**

University of California, Santa Cruz

Specialized Education/Training

Archaeological Field School **2014**

Pimu Catalina Island Archaeology Project

Research Interests

California Coastal / Inland Archaeology

Zooarchaeology

Historic Structure Significance Eligibility

Historical Archaeology

Human Behavioral Ecology

Taphonomic Studies

Experience

Project Archaeologist, Faunal Analyst

November 2006–Present

Brian F. Smith and Associates, Inc.

Duties include report writing, editing and production; construction monitoring management; coordination of field survey and excavation crews; laboratory and office management. Currently conducts faunal, prehistoric, and historic laboratory analysis and has conducted such analysis for over 500 projects over the past 10 years. Knowledgeable in the most recent archaeological and paleontological monitoring requirements for all Southern California lead agencies, as well as Native American monitoring requirements.

**UC Santa Cruz Monterey Bay Archaeology Archives Supervisor
Santa Cruz, California**

December 2003–March 2004

Supervising intern for archaeological collections housed at UC Santa Cruz. Supervised undergraduate interns and maintained curated archaeological materials recovered from the greater Monterey Bay region.

**Faunal Analyst, Research Assistant
University of California, Santa Cruz**

June 2003–December 2003

Intern assisting in laboratory analysis and cataloging for faunal remains collected from CA-MNT-234. Analysis included detailed zoological identification and taphonomic analysis of prehistoric marine and terrestrial mammals, birds, and fish inhabiting the greater Monterey Bay region.

**Archaeological Technician, Office Manager
Archaeological Resource Management**

January 2000–December 2001

Conducted construction monitoring, field survey, excavation, report editing, report production, monitoring coordination and office management.

Certifications

City of San Diego Certified Archaeological and Paleontological Monitor

40-Hour Hazardous Waste/Emergency Response OSHA 29 CFR 1910.120 (e)

Scholarly Works

Big Game, Small Game: A Comprehensive Analysis of Faunal Remains Recovered from CA-SDI-11,521, 2016, Master's thesis on file at St. Cloud University, St. Cloud, Minnesota.

Technical Reports

Buday, Tracy M., Jennifer R. **Kraft**, and Brian F. Smith

2014 *Mitigation Monitoring Report for the Park and G Project, City of San Diego*. Prepared for Oliver McMillan. Report on file at the California South Coastal Information Center.

Kennedy, George L., Todd A. Wirths and Jennifer R. **Kraft**

2014 *Negative Paleontological, Archaeological, and Native American Monitoring and Mitigation Report, 2303 Ocean Street Residences Project, City of Carlsbad, San Diego County, California (CT 05-12; CP 05-11; CDP 05-28)*. Prepared for Zephyr Partners. Report on file at the California South Coastal Information Center.

2013 *Negative Paleontological, Archaeological, and Native American Monitoring and Mitigation Report, Tri-City Christian High School, 302 North Emerald Drive, Vista, San Diego County*,

California (APN 166-411-75). Prepared for Tri-City Christian School. Report on file at the California South Coastal Information Center.

Kraft, Jennifer R.

2012 *Cultural Resources Monitoring Report for the Pottery Court Project (TPM 36193) City of Lake Elsinore.* Prepared for BRIDGE Housing Corporation. Report on file at the California Eastern Information Center.

Kraft, Jennifer R., David K. Grabski, and Brian F. Smith

2014 *Phase I Cultural Resource Survey for the Amineh Project, City of San Diego.* Prepared for Nakhshab Development and Design. Report on file at the California South Coastal Information Center.

Kraft, Jennifer R. and Brian F. Smith

2016 *Cultural Resources Survey and Archaeological Test Plan for the 1492 K Street Project City of San Diego.* Prepared for Trestle Development, LLC. Report on file at the California South Coastal Information Center.

2016 *Focused Historic Structure Assessment for the Fredericka Manor Retirement Community City of Chula Vista, San Diego County, California APN 566-240-27.* Prepared for Front Porch Communities and Services – Fredericka Manor, LLC. Report on file at the City of Chula Vista Planning Department.

2016 *Historic Structure Assessment for 8585 La Mesa Boulevard City of La Mesa, San Diego County, California. APN 494-300-11.* Prepared for Siilvergate Development. Report on file at the City of La Mesa Planning Department.

2016 *Phase I Cultural Resource Survey for the 9036 La Jolla Shores Lane Project City of San Diego Project No. 471873 APN 344-030-20.* Prepared for Eliza and Stuart Stedman. Report on file at the California South Coastal Information Center.

2016 *Phase I Cultural Resources Survey for the Beacon Apartments Project City of San Diego Civic San Diego Development Permit #2016-19 APN 534-210-12.* Prepared for Wakeland Housing & Development Corporation. Report on file at the California South Coastal Information Center.

2016 *A Phase I Cultural Resources Study for the State/Columbia/Ash/A Block Project San Diego, California.* Prepared for Bomel San Diego Equities, LLC. Report on file at the California South Coastal Information Center.

2015 *Cultural Resource Monitoring Report for the Sewer and Water Group 687B Project, City of San Diego.* Prepared for Ortiz Corporation. Report on file at the California South Coastal Information Center.

2015 *Cultural Resource Testing Results for the Broadway and Pacific Project, City of San Diego.* Prepared for BOSA Development California, Inc. Report on file at the California South Coastal Information Center.

2015 *Cultural Resource Study for the Hatfield Plaza Project, Valley Center, San Diego County, California.* Prepared for JG Consulting & Engineering. Report on file at the California South Coastal Information Center.

- 2015 *Cultural Resources Study for the Hedrick Residence Project, Encinitas, San Diego County, California.* Prepared for WNC General Contractors, Inc. Report on file at the California South Coastal Information Center.
- 2015 *Historic Structure Assessment for the StorQuest Project, City of La Mesa, (APN 494-101-14-00).* Prepared for Real Estate Development and Entitlement. Report on file at the City of La Mesa.
- 2015 *Mitigation Monitoring Report for the 1905 Spindrift Remodel Project, La Jolla, California.* Prepared for Brian Malk and Nancy Heitel. Report on file at the California South Coastal Information Center.
- 2015 *Mitigation Monitoring Report for the Cisterra Sempra Office Tower Project, City of San Diego.* Prepared for SDG-Left Field, LLC. Report on file at the California South Coastal Information Center.
- 2015 *A Phase I Cultural Resource Study for the Marlow Project, Poway, California.* Prepared for Peter Marlow. Report on file at the California South Coastal Information Center.
- 2015 *Phase I Cultural Resource Survey for the Paseo Grande Project, City of San Diego.* Prepared for Joe Gatto. Report on file at the California South Coastal Information Center.
- 2015 *Results of a Cultural Resources Testing Program for the 15th and Island Project City of San Diego.* Prepared for Lennar Multifamily Communities. Report on file at the City of San Diego Development Services Department.
- 2014 *Cultural Resource Monitoring Report for the ActivCare at Mission Bay Project, San Diego, California.* Prepared for ActivCare Living, Inc. Report on file at the California South Coastal Information Center.
- 2014 *Cultural Resource Monitoring Report for the Cesar Chavez Community College Project.* Prepared for San Diego Community College District. Report on file at the California South Coastal Information Center.
- 2014 *Cultural Resource Monitoring Report for the Grantville Trunk Sewer Project, City of San Diego.* Prepared for Cass Construction, Inc. Report on file at the California South Coastal Information Center.
- 2014 *Cultural Resource Monitoring Report for the Pacific Beach Row Homes Project, San Diego, California.* Prepared for Armstrong Builders, Inc. Report on file at the California South Coastal Information Center.
- 2014 *Cultural Resource Monitoring Report for the Poway Lowe's Project, City of Poway.* Prepared for CSI Construction Company. Report on file at the California South Coastal Information Center.
- 2014 *Cultural Resource Monitoring Report for the Sewer and Water Group 761 Project, City of San Diego.* Prepared for Burtech Pipeline. Report on file at the California South Coastal Information Center.
- 2014 *Cultural Resource Monitoring Report for the Sewer and Water Group 770 Project (Part of Group 3014), City of San Diego.* Prepared for Ortiz Corporation. Report on file at the California South Coastal Information Center.

- 2014 *Cultural Resource Monitoring Report for the Sewer and Water Group 788 Project, City of San Diego.* Prepared for Ortiz Corporation. Report on file at the California South Coastal Information Center.
- 2014 *Historic Structure Assessment, 11950 El Hermano Road, Riverside County.* Prepared for Forestar Toscana, LLC. Report on file at the California Eastern Information Center.
- 2014 *Historic Structure Assessment, 161 West San Ysidro Boulevard, San Diego, California (Project No. 342196; APN 666-030-09).* Prepared for Blue Key Realty. Report on file at the California South Coastal Information Center.
- 2014 *Historic Structure Assessment for 8055 La Mesa Boulevard, City of La Mesa (APN 470-582-11-00).* Prepared for Lee Machado. Report on file at the City of La Mesa.
- 2014 *Historic Structure Inventory and Assessment Program for the Watson Corporate Center, San Bernardino County, California.* Prepared for Watson Land Company. Report on file at the San Bernardino Archaeological Information Center.
- 2014 *Mitigation Monitoring Report for the Celadon (9th and Broadway) Project.* Prepared for BRIDGE Housing Corporation. Report on file at the California South Coastal Information Center.
- 2014 *Mitigation Monitoring Report for the Comm 22 Project, City of San Diego.* Prepared for BRIDGE Housing Corporation. Report on file at the California South Coastal Information Center.
- 2014 *Mitigation Monitoring Report for the Pinnacle 15th & Island Project, City of San Diego.* Prepared for Pinnacle International Development, Inc. Report on file at the California South Coastal Information Center.
- 2014 *A Phase I and II Cultural Resource Study for the Perris Residential Project, Perris, California.* Prepared for Groundwurk, Inc. Report on file at the California Eastern Information Center.
- 2014 *Phase I Cultural Resource Survey for the Siempre Viva Warehouse Project, City of San Diego.* Prepared for Terrazas Construction. Report on file at the California South Coastal Information Center.
- 2014 *Phase I Cultural Resource Survey for the Silver Street Village Homes Project, City of San Diego.* Prepared for EHOFF La Jolla, LLC. Report on file at the California South Coastal Information Center.
- 2014 *Phase I Cultural Resources Study for the 915 Grape Street Project.* Prepared for Bay View SD, LLC. Report on file at the California South Coastal Information Center.
- 2014 *Phase I Cultural Resource Study for the Altman Residence Project, 9696 La Jolla Farms Road, La Jolla, California 92037.* Prepared for Steve Altman. Report on file at the California South Coastal Information Center.
- 2014 *Phase I Cultural Resources Survey for the Clay Street Parcel Project, City of Jurupa Valley, County of Riverside.* Prepared for CV Communities, LLC. Report on file at the California Eastern Information Center.

- 2014 *Phase I Cultural Resources Survey for the Ecos Diamond Valley Project, Community of Winchester, County of Riverside.* Prepared for Ecos Energy, LLC. Report on file at the California Eastern Information Center.
- 2014 *Phase I Cultural Resources Survey for the Highland 44 Project.* Prepared for 29300 Baseline Partners, LLC. Report on file at the San Bernardino Archaeological Information Center.
- 2014 *A Phase I Cultural Resources Survey of the Palm Creek Ranch Project, Thousand Palms, Riverside County, California (APNs 650-230-002, 650-310-001, and 650-310-002).* Prepared for Palm Creek Ranch, LLC. Report on file at the California Eastern Information Center.
- 2013 *Archaeological Monitoring Report for the Webster Residence, La Jolla, California.* Prepared for KW Building and Development. Report on file at the California South Coastal Information Center.
- 2013 *Cultural Resource Monitoring Report for the Alvarado Trunk Sewer Phase III Project, City of San Diego.* Prepared for Ortiz Corporation General Engineering Contractors. Report on file at the California South Coastal Information Center.
- 2013 *Cultural Resource Monitoring Report for the Alvarado Trunk Sewer Phase IIIA Project, City of San Diego.* Prepared for TC Construction, Inc. Report on file at the California South Coastal Information Center.
- 2013 *Cultural Resource Monitoring Report for the Coral Mountain Apartments Project, City of La Quinta, California.* Prepared for Coral Mountain Apartments, LP. Report on file at the California Eastern Information Center.
- 2013 *Cultural Resource Monitoring Report for the F Street Emergency Water Main Replacement Project, City of San Diego.* Prepared for Orion Construction. Report on file at the California South Coastal Information Center.
- 2013 *Cultural Resource Monitoring Report for the Harbor Drive Trunk Sewer Project, City of San Diego.* Prepared for Burtech Pipeline. Report on file at the California South Coastal Information Center.
- 2013 *Cultural Resource Monitoring Report for the Hyde Residence.* Prepared for Dr. Paul Hyde. Report on file at the California South Coastal Information Center.
- 2013 *Cultural Resource Monitoring Report for the Juniper Street Sidewalk Project, City of San Diego.* Prepared for Palm Engineering Construction Company, Inc. Report on file at the California South Coastal Information Center.
- 2013 *Cultural Resource Monitoring Report for the Kates Residence Project.* Prepared for Brad and Shannon Kates. Report on file at the California South Coastal Information Center.
- 2013 *Cultural Resource Monitoring Report for the Pump Station 84 Upgrade and Pump Station 62 Abandonment Project.* Prepared for TC Construction, Inc. Report on file at the California South Coastal Information Center.
- 2013 *Cultural Resource Monitoring Report for the Sewer and Water Group 781 Project.* Prepared for TC Construction, Inc. Report on file at the California South Coastal Information Center.

- 2013 *Cultural Resource Monitoring Report for the Woolf Residence Project.* Prepared for A.J. Woolf Family Trust. Report on file at the California South Coastal Information Center.
- 2013 *Cultural Resources Study of the Fairway Drive Project.* Prepared for CV Communities, LLC. Report on file at the California Eastern Information Center.
- 2013 *Cultural Resource Monitoring Report for the Old Town Community Church Project, 2444 Congress Street, San Diego, California 92110.* Prepared for Soltek Pacific, Inc. Report on file at the California South Coastal Information Center.
- 2013 *Historic Structure Assessment, 2603 Dove Street, San Diego, California (APN) 452-674-32).* Prepared for Barzal and Scotti Real Estate Corporation. Report on file at the California South Coastal Information Center.
- 2013 *Historic Structure Assessment at the Western Christian School, 3105 Padua Avenue, Claremont, California 91711 (APN 8671-005-053).* Prepared for Western Christian School. Report on file at the City of Claremont.
- 2013 *Mitigation Monitoring Report for the 7th and F Street Parking Project, City of San Diego.* Prepared for DZI Construction. Report on file at the California South Coastal Information Center.
- 2013 *Mitigation Monitoring Report for the 1919 Spindrift Drive Project.* Prepared for V.J. and Uma Joshi. Report on file at the California South Coastal Information Center.
- 2013 *Mitigation Monitoring Report for the Knight Residence Project, 7970 Roseland Avenue, La Jolla, California.* Prepared for Mr. Dennis Knight. Report on file at the California South Coastal Information Center.
- 2013 *Mitigation Monitoring Report for the Sewer Group 799-750 Project.* Prepared for Burtech Pipeline. Report on file at the California South Coastal Information Center.
- 2013 *Negative Cultural Resource Monitoring Report for the Citywide Pump Station Upgrades Group II Project.* Prepared for Ortiz Corporation General Engineering Contractors. Report on file at the California South Coastal Information Center.
- 2013 *Negative Cultural Resource Monitoring Report for the Citywide Pump Station Upgrades Group III Project, City of San Diego.* Prepared for TC Construction, Inc. Report on file at the California South Coastal Information Center.
- 2013 *Phase I Cultural Resource Study for the 3364 Randy Lane Project, Chula Vista, California.* Prepared for H&M Construction. Report on file at the California South Coastal Information Center.
- 2013 *Phase I Cultural Resources Survey for the Ecos Nuevo Project, Community of Nuevo, County of Riverside.* Prepared for Ecos Energy, LLC. Report on file at the California Eastern Information Center.

- 2012 *Cultural Resource Monitoring Report for the Sewer and Water Group 754 Project, City of San Diego (Project No. 177711/187301)*. Prepared for S.C. Valley Engineering, Inc. Report on file at the California South Coastal Information Center
- 2012 *Cultural Resource Monitoring Report for the Sewer Group 714 Project*. Prepared for Burtech Pipeline. Report on file at the California South Coastal Information Center.
- 2012 *Cultural Resource Monitoring Report for the Sewer and Water Group 780 Project*. Prepared for Burtech Pipeline. Report on file at the California South Coastal Information Center.
- 2012 *Mitigation Monitoring of the 47th Street Warehouse Project, San Diego, California*. Prepared for Aardema Development. Report on file at the California South Coastal Information Center.
- 2012 *Mitigation Monitoring Report for the Florida Street Apartments Project (The Kalos Project)*. Prepared for Florida Street Housing Associates. Report on file at the California South Coastal Information Center.
- 2012 *Mitigation Monitoring Report for the Pacific Highway Trunk Sewer Project*. Prepared for HPS Mechanical. Report on file at the California South Coastal Information Center.
- 2011 *Phase I Cultural Resource Study for the Wesley Palms Retirement Community Project, San Diego, California*. Prepared for Front Porch Development Company. Report on file at the California South Coastal Information Center.

Kraft, Jennifer R. and Tracy A. Stropes

- 2013 *Phase I Cultural Resources Survey for the Orange Street Project*. Prepared for Mike Lesle. Report on file at the California Eastern Information Center.
- 2012 *Mitigation Monitoring Report for the 13th & Market Project*. Prepared for The Hanover Company. Report on file at the California South Coastal Information Center.
- 2012 *Mitigation Monitoring Report for the T-Mobile West, LLC Telecommunications Candidate SD02867C (Presidio Park)*. Prepared for Michael Brandmann Associates. Report on file at the California South Coastal Information Center.

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- 2013 *Mitigation Monitoring Report for the Ariel Suites Project*. Prepared for Ariel Suites, LP. Report on file at the California South Coastal Information Center.

Smith, Brian F., Claire M. Allen, and Jennifer R. **Kraft**

- 2015 *A Phase I and II Cultural Resource Report for the Lake Ranch Project, TR 36730, Riverside County, California*. Prepared for Christopher Development Group. Report on file at the California Eastern Information Center.

Smith, Brian F., Claire M. Allen, Mary M. Lenich, and Jennifer R. **Kraft**

- 2014 *Phase I and Phase II Cultural Resource Assessment for the Citrus Heights II Project, TTM 36475, Riverside County, California*. Prepared for CV Communities, LLC. Report on file at the California Eastern Information Center.

Smith, Brian F. and Jennifer R. **Kraft**

- 2016 *Archaeological Test Plan for the Broadway Block Project City of San Diego Project No. 492554.* Prepared for BOSA Development California, Inc. Report on file at the City of San Diego Development Services Department.
- 2016 *Cultural Resource Survey and Archaeological Test Plan for the Maker's Quarter – Block D Project, City of San Diego.* Prepared for L2HP, LLC. Report on file at the City of San Diego Development Services Department.
- 2016 *Cultural Resource Testing Program for the 1919 Pacific Highway Project City of San Diego City Preliminary Review PTS #451689 Grading and Shoring PTS #465292.* Prepared for Wood Partners. Report on file at the City of San Diego Development Services Department.
- 2016 *Historical Resource Research Report for the 2314 Rue Adriane Building, San Diego, California Project No. 460562.* Prepared for the Brown Studio. Report on file at the City of San Diego Development Services Department.
- 2016 *Historical Resource Research Report for the 4921 Voltaire Street Building, San Diego, California Project No. 471161.* Prepared for Sean Gogarty. Report on file at the City of San Diego Development Services Department.
- 2016 *Historical Resource Research Report for the 5147 Hilltop Drive Building, San Diego, California Project No. 451707.* Prepared for JORGA Home Design. Report on file at the City of San Diego Development Services Department.
- 2016 *Historical Resource Research Report for the Midway Drive Postal Service Processing and Distribution Center 2535 Midway Drive San Diego, California 92138 Project No. 507152.* Prepared for Steelwave, LLC. Report on file at the City of San Diego Development Services Department.
- 2016 *Historic Resource Technical Report for 9036 La Jolla Shores Lane La Jolla, California Project No. 471873.* Prepared for Eliza and Stuart Stedman. Report on file at the City of San Diego Development Services Department.
- 2015 *Cultural Resource Mitigation Monitoring Program for the Urban Discovery Academy Project.* Prepared for Davis Reed Construction, Inc. Report on file at the City of San Diego Development Services Department.
- 2015 *Cultural Resource Survey and Archaeological Test Plan for the 520 West Ash Street Project, City of San Diego.* Prepared for Lennar Multifamily Communities. Report on file at the City of San Diego Development Services Department.
- 2015 *Cultural Resource Survey and Archaeological Test Plan for the 1919 Pacific Highway Project City of San Diego City Preliminary Review PTS #451689 Grading and Shoring PTS #465292.* Prepared for Wood Partners. Report on file at the City of San Diego Development Services Department.
- 2015 *Cultural Resource Survey and Archaeological Test Plan for the Bayside Fire Station Project, City of San Diego.* Prepared for Civic San Diego. Report on file at the City of San Diego Development Services Department.

- 2015 *Cultural Resource Survey and Archaeological Test Plan for the Kettner and Ash Project, City of San Diego.* Prepared for BOSA Development California, Inc. Report on file at the City of San Diego Development Services Department.
- 2015 *Cultural Resource Survey and Archaeological Test Plan for the PRIME Project.* Prepared for InDev, Inc. Report on file at the City of San Diego Development Services Department.
- 2015 *Cultural Resource Testing Program for the BOSA Lot 1 Project, City of San Diego.* Prepared for BOSA Development California, Inc. Report on file at the City of San Diego Development Services Department.
- 2015 *Historical Resource Research Report for the 921 Muirlands Drive Building, San Diego, California 92037.* Prepared for Stephen Karas. Report on file at the California South Coastal Information Center.
- 2015 *Historical Resource Research Report for the 1311 Sutter Street Building, San Diego, California 92103.* Prepared for A.K. Smith. Report on file at the California South Coastal Information Center.
- 2015 *Historical Resource Research Report for 16929 West Bernardo Drive, San Diego, California.* Prepared for Rancho Bernardo LHP, LLC. Report on file at the City of San Diego Development Services Department.
- 2015 *Historical Resource Research Report for the 2002-2004 El Cajon Boulevard Building, San Diego, California 92014.* Prepared for T.R. Hale, LLC. Report on file at the California South Coastal Information Center.
- 2015 *Historical Resource Research Report for the 4319-4321 Florida Street Building, San Diego, California 92104.* Prepared for T.R. Hale, LLC. Report on file at the California South Coastal Information Center.
- 2015 *Historic Resource Technical Report for 726 Jersey Court San Diego, California Project No. 455127.* Prepared for Chad Irwin. Report on file at the California South Coastal Information Center.
- 2015 *Historic Resource Technical Report for 1111 Golden Gate Drive San Diego, California.* Prepared for Alexis and Shawna Volen. Report on file at the California South Coastal Information Center.
- 2015 *Islenair Historic Sidewalk Stamp Program for Sewer and Water Group 3014, City of San Diego.* Prepared for Ortiz Corporation. Report on file at the California South Coastal Information Center.
- 2015 *A Negative Cultural Resources Survey Report for the Bonita 14 Project, San Diego County, California.* Prepared for Southwest Management Company. Report on file at the California South Coastal Information Center.
- 2015 *A Phase I and II Cultural Resources Assessment for the Decker Parcels II Project, Planning Case No. 36962, Riverside County, California.* Prepared for Trammell Crow Southern California Development, Inc. Report on file at the California Eastern Information Center.

- 2015 *A Phase I Cultural Resources Assessment for the Idyllwild Community Center Project, Conditional Use Permit No. 3673-RI, Riverside County, California.* Prepared for San Jacinto Mountain Community Center. Report on file at the California Eastern Information Center.
- 2014 *Archaeological Test Plan for the Atmosphere Project, City of San Diego.* Prepared for Wakeland Housing and Development Corporation. Report on file at the City of San Diego Development Services Department.
- 2014 *Archaeological Test Plan for the Ballpark Village Project, San Diego, California.* Prepared for Ballpark Village, LLC. Report on file at the City of San Diego Development Services Department.
- 2014 *Cultural Resource Survey and Archaeological Test Plan for the Idea1 Project, City of San Diego.* Prepared for Lowe Enterprises Real Estate Group. Report on file at the City of San Diego Development Services Department.
- 2014 *Cultural Resource Survey and Archaeological Test Plan for the Lennar 15th and Island Project, City of San Diego.* Prepared for Lennar Multifamily Communities. Report on file at the City of San Diego Development Services Department.
- 2014 *Historical Resource Research Report for 2850 Sixth Avenue, San Diego, California (Project No. 392445).* Prepared for Zephyr Partners – RE, LLC. Report on file at the City of San Diego Development Services Department.
- 2014 *Phase I Cultural Resource Survey for the Hotel Felicita Project, City of Escondido, California (APNs 238-102-41 and -45).* Prepared for Blue Light Capital Corporation. Report on file at the California South Coastal Information Center.
- 2013 *Cultural Resources Study for the Los Peñasquitos Adobe Drainage Project.* Prepared for HELIX Environmental Planning, Inc. Report on file at the California South Coastal Information Center.
- 2013 *Cultural Resources Study for the Rancho Peñasquitos Adobe Drainage MND Project, San Diego County, California (CSD-04.03).* Prepared for HELIX Environmental Planning, Inc. Report on file at the California South Coastal Information Center.

Smith, Brian F., Jennifer R. **Kraft**, and Mary M. Lenich

- 2015 *A Phase I and II Cultural Resources Assessment for the Decker Parcels I Project, Planning Case No. 36950, Riverside County, California.* Prepared for Trammell Crow Southern California Development, Inc. Report on file at the California Eastern Information Center.

Smith, Brian F. and Jennifer R.K. **Stropes**

- 2016 *Historical Resource Research Report for the 1852-1866 Bacon Street Buildings San Diego, California 92107.* Prepared for Cartega International. Report on file at the California Eastern Information Center.
- 2016 *Historical Resource Research Report for 2001 Fourth Avenue, San Diego, California Project No. 523694.* Prepared for H.G. Fenton Company. Report on file at the City of San Diego Development Services Department.

Smith, Brian F., Tracy A. Stropes, Tracy M. Buday, and Jennifer R. **Kraft**

2015 *Mitigation Monitoring and Reporting Program for the 1900 Spindrift Drive – Cabana and Landscape Improvements Project, La Jolla, California.* Prepared for Darwin Deason. Report on file at the California South Coastal Information Center.

2015 *Mitigation Monitoring and Reporting Program for the 1912 Spindrift Drive – Landscape Improvements Project, La Jolla, California.* Prepared for Darwin Deason. Report on file at the California South Coastal Information Center.

Stropes, J.R.K. and Brian F. Smith

2016 *Cultural Resource Monitoring Report for the Sewer and Water Group 758 Project City of San Diego Project No. 230024 Sewer WBS No. B-00365; Water WBS No. B-00074.* Prepare for Burtech Pipeline, Inc. Report on file at the California South Coastal Information Center.

2016 *Phase I Cultural Resource Survey for the 2499 Pacific Highway Project City of San Diego CCDP/CCPDP/CDP/CUP No. 2016-30 APN 533-021-01.* Prepared for Gary Mansour. Report on file at the California South Coastal Information Center.

2016 *Results of a Cultural Resource Testing Program for the Maker's Quarter – Block D Project, City of San Diego.* Prepared for L2HP, LLC. Report on file at the California South Coastal Information Center.

Stropes, J.R.K., Tracy A. Stropes, and Brian F. Smith

2016 *Results of the Mitigation Monitoring Program for the Amitai Residence Project 2514 Ellentown Road La Jolla, California 92037 Project No. 388734.* Prepared for David Amitai. Report on file at the California South Coastal Information Center.

Stropes, Tracy A., Jennifer R. **Kraft**, and Brian F. Smith

2016 *Cultural Resources Study for the Ocean Breeze Ranch Project, Bonsall, San Diego County, California (PDS2015-MPA-15-011).* Prepared for Ocean Breeze Ranch, LLC. Report on file at the California South Coastal Information Center.

Stropes, Tracy A., Brian F. Smith, and Jennifer R. **Kraft**

2015 *Results of the Mitigation Monitoring Program for the Keating Residence Project, La Jolla, California.* Prepared for Brian Keating. Report on file at the California South Coastal Information Center.

Contributing Author /Analyst

2015 Faunal Analysis and Report Section for *Cultural Resource Data Recovery and Mitigation Monitoring Program for Site SDI-10,237 Locus F, Everly Subdivision Project, El Cajon, California* by Tracy A. Stropes and Brian F. Smith. Prepared for Shea Homes. Report on file at the California South Coastal Information Center.

2011 Faunal Analysis and Report Section for *A Cultural Resource Data Recovery Program for SDI-4606 Locus B for St. Gabriel's Catholic Church, Poway, California* by Brian F. Smith and Tracy A. Stropes. Prepared for St. Gabriel's Catholic Church. Report on file at the California South Coastal Information Center.

2010 Faunal Analysis and Report Section for *An Archaeological Study for the 1912 Spindrift Drive Project, La Jolla, California* by Brian F. Smith and Tracy A. Stropes. Prepared for Island Architects. Report on file at the California South Coastal Information Center.

- 2010 Faunal Analysis and Report Section for *Results of a Cultural Mitigation and Monitoring Program for Robertson Ranch: Archaic and Late Prehistoric Camps near the Agua Hedionda Lagoon* by Brian F. Smith. Prepared for McMillan Land Development. Report on file at the California South Coastal Information Center.
- 2009 Faunal Identification for “An Earlier Extirpation of Fur Seals in the Monterey Bay Region: Recent Findings and Social Implications” by Diane Gifford-Gonzalez and Charlotte K. Sunseri. *Proceedings of the Society for California Archaeology, Vol. 21, 2009*